

Welcome

**Glenora Heritage
Character Area Rezoning**

**PROJECT OVERVIEW AND
CHARACTER ANALYSIS**

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Project Outline, Purpose, & Goals

Project Summary

The Glenora community encompasses one of the city's richest collections of historic residences and is recognized as a well-preserved example of a garden city suburb in Canada.

Residents and members of the Old Glenora Conservation Association (OGCA) have expressed their concerns to City Council about the loss of historic resources in the area. They have asked the City to explore developing special area zoning to ensure new developments complement the historic nature of the Glenora neighbourhood.

As a result of these efforts, the City conducted an inventory of historic resources in Glenora. The resulting report identified three unique character areas in Glenora south of Stony Plain Road:

- + 102 Avenue Character Area
- + Capital Hill Character Area
- + Old Glenora Character Area

In December 2018, City Council approved a project to undertake a (DC1) Direct Development Control Provision exercise for the Glenora Character Areas.

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Project Goal

- + To develop zoning that will manage the character of the area so that elements that contribute to the heritage value and character are preserved while allowing for complementary changes

Project Objectives

- + Implement development criteria to guide new development that is sensitive and complementary to the character of Glenora
- + Ensure that, where feasible, the Zoning Provision is consistent with current zoning standards and broader City policies and objectives

What is a DC1 Provision?

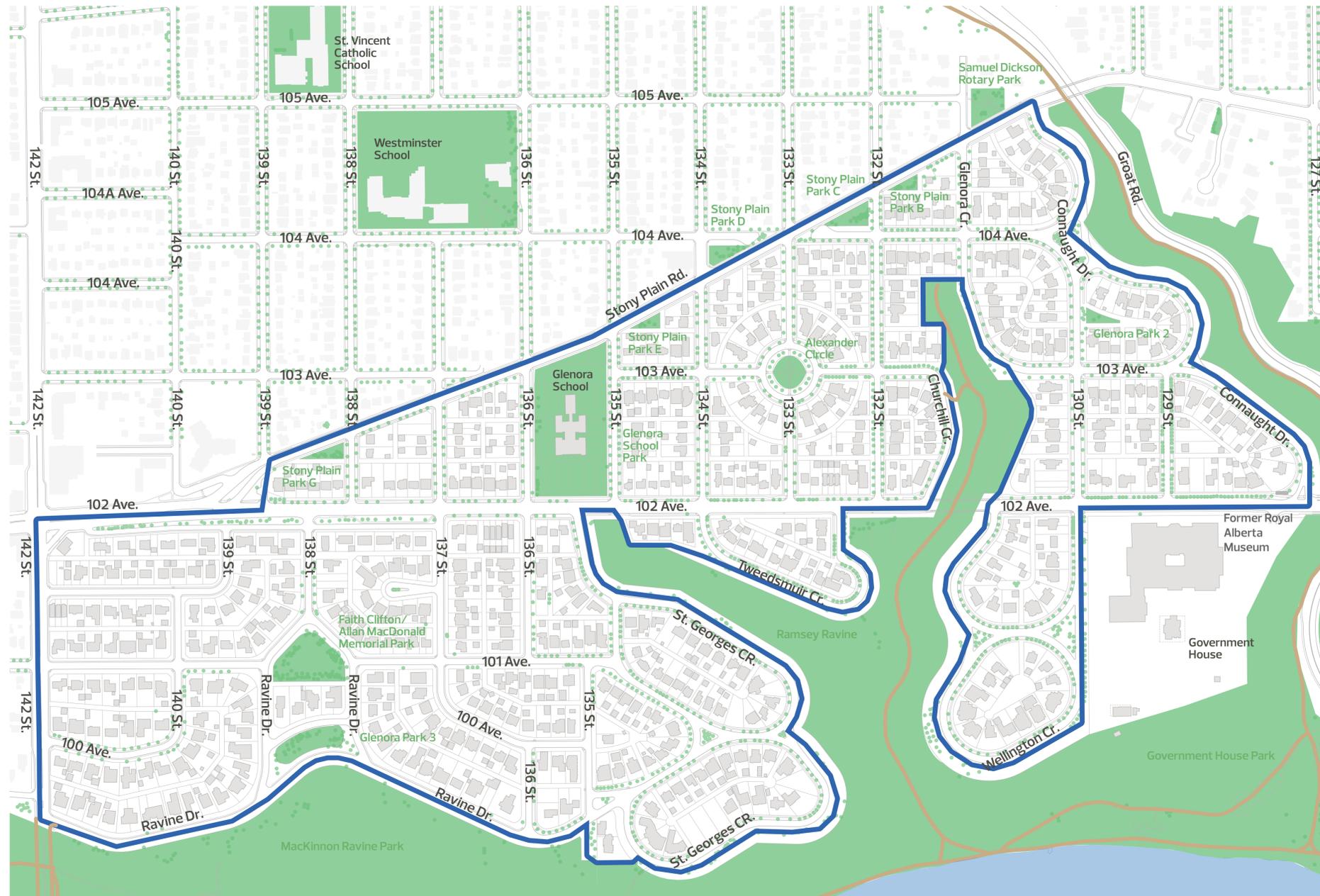
- + A (DC1) Direct Development Control Provision is a custom zoning instrument used for detailed siting and design of buildings where it is necessary to establish, preserve, or enhance areas of unique character, including sites of special historical and cultural value.
- + Direct Development Control Provision (DC1) zoning tools have been used to enhance and protect local character in a number of other historic character areas in Edmonton such as the Westmount Architectural Heritage Area and the Strathcona Historical Commercial Area.

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Project Boundary



 Glenora Heritage Character Area Rezoning Project Boundary

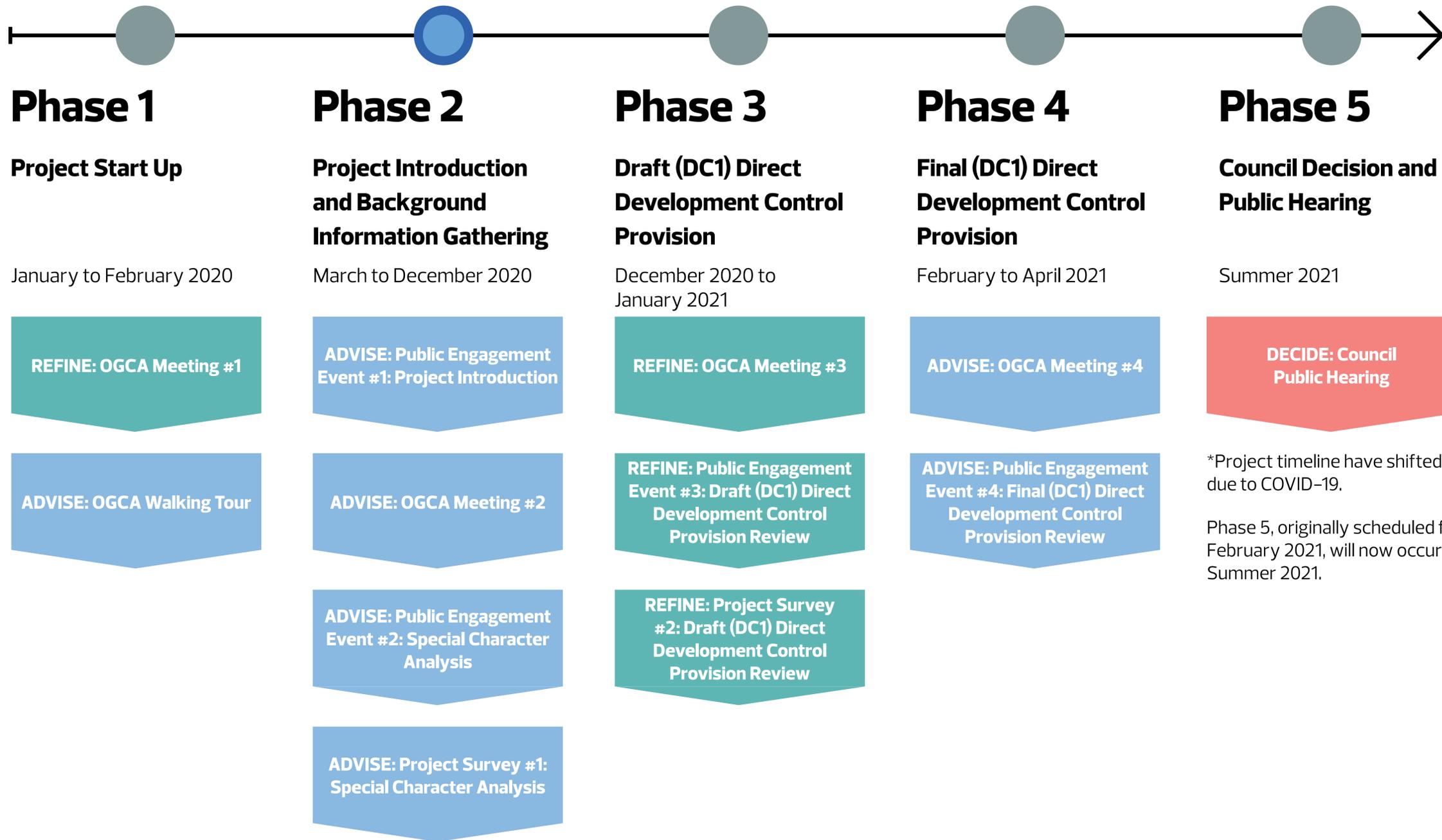
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Timeline & Engagement



*Project timeline have shifted due to COVID-19.

Phase 5, originally scheduled for February 2021, will now occur in Summer 2021.

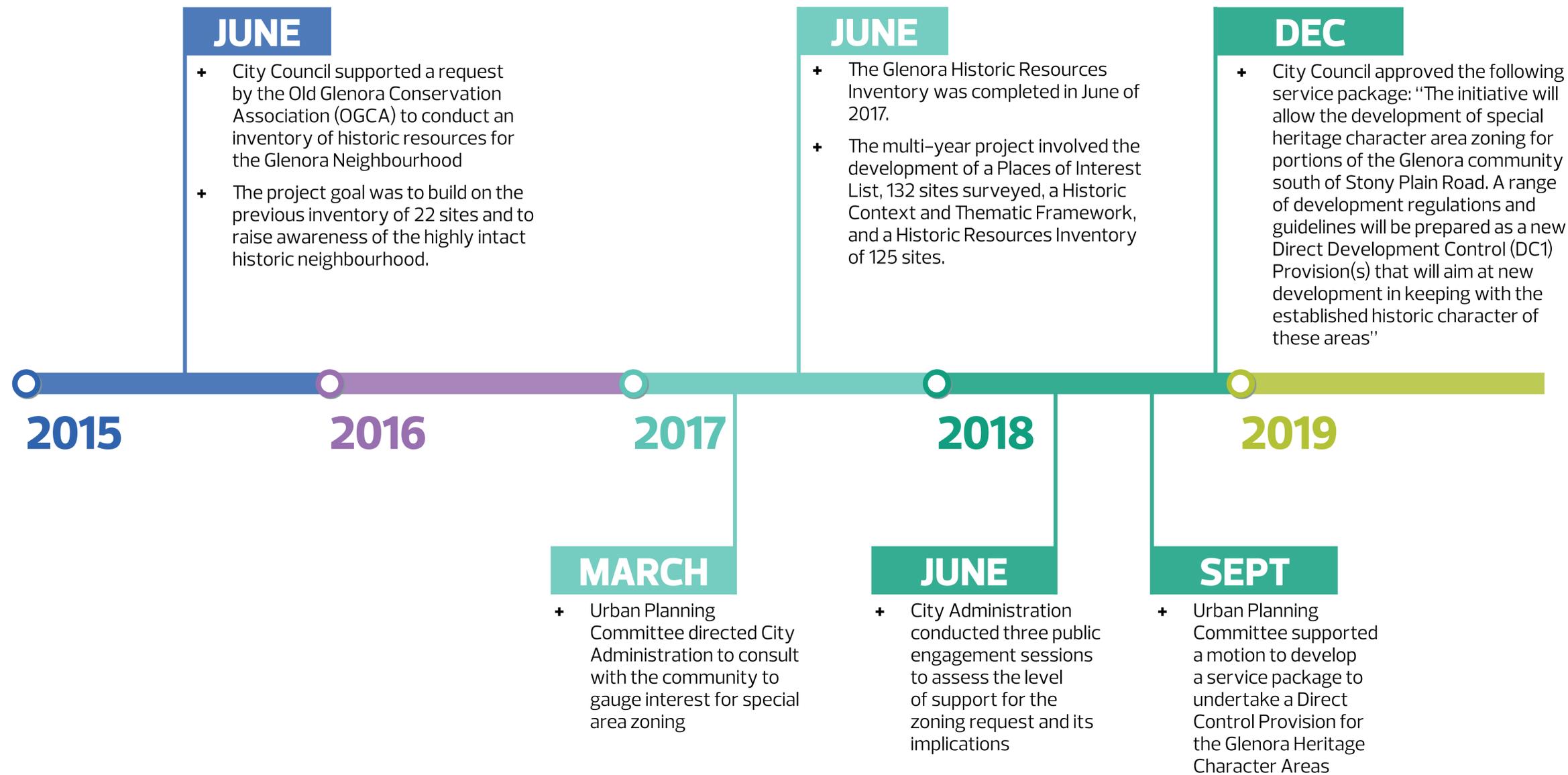
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Project Background



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Regulatory Context

Existing Zoning and Overlays

- + Primary zoning in the neighbourhood is RF1 – Single Detached Residential Zone which allows for the development of single-detached housing and other forms of small scale housing such as secondary suites, garden suites, semi-detached housing, and duplex housing.
- + A smaller number of parcels are zoned RF2 – Low-Density Infill Zone, RF3 – Small Scale Residential Infill Development Zone, and RF4 – Semi-detached Residential Zone.
- + Two (DC1) Direct Development Control Provisions are applicable to the William Blakey Residence and Hyndman Residence along 136 Street. The purpose of these zones is to preserve these residences as Municipal Historic Resources.
- + Two (DC2) Site Specific Development Control Provisions are located along 102 Avenue and 139 Street. The purpose of the DC2 along Stony Plain Road is to allow for row housing and the purpose of the DC2 along 139 Street is to establish professional and office support services which are compatible with surrounding residential uses.

City Plan

- + The City Plan will be Edmonton's new Municipal Development Plan (MDP), replacing 'The Ways' documents, including the current MDP and Transportation Master Plan (TMP).
- + As of September 2020, the City Plan received two readings by City Council and is currently undergoing consideration and approval by the Edmonton Metropolitan Region Board.

City Plan Policies

Below is a list of City Plan policies that will be important to consider throughout the project:

- + 1.3.1.5 Encourage high-quality urban design that celebrates the unique physical pattern of the city's systems, networks and places.
- + 5.2.1.1 Encourage the identification and preservation of historic resources and cultural and natural landscapes
- + 5.2.1.2 Consider, enhance and preserve historic resources through ongoing redevelopment processes.

- + 5.2.1.6 Incorporate and reflect the diverse heritage of local communities through stories, structures and spaces

Carruthers Caveat

- + A caveat is registered on the title of a property stating that there are specific requirements for that parcel of land.
- + The Carruthers Caveat was registered as a restrictive covenant in 1911 and reinforces the design of the neighbourhood with Garden City influences.
- + The caveat "runs with the land" meaning it is binding against each successive owner.
- + Provisions of the caveat include restrictions on commercial development, imposing detailed and variable restrictions on a lot-by-lot, block-by-block basis with regards to setbacks and minimum values for new construction, and limiting the number of dwellings to one "dwelling house" per lot.

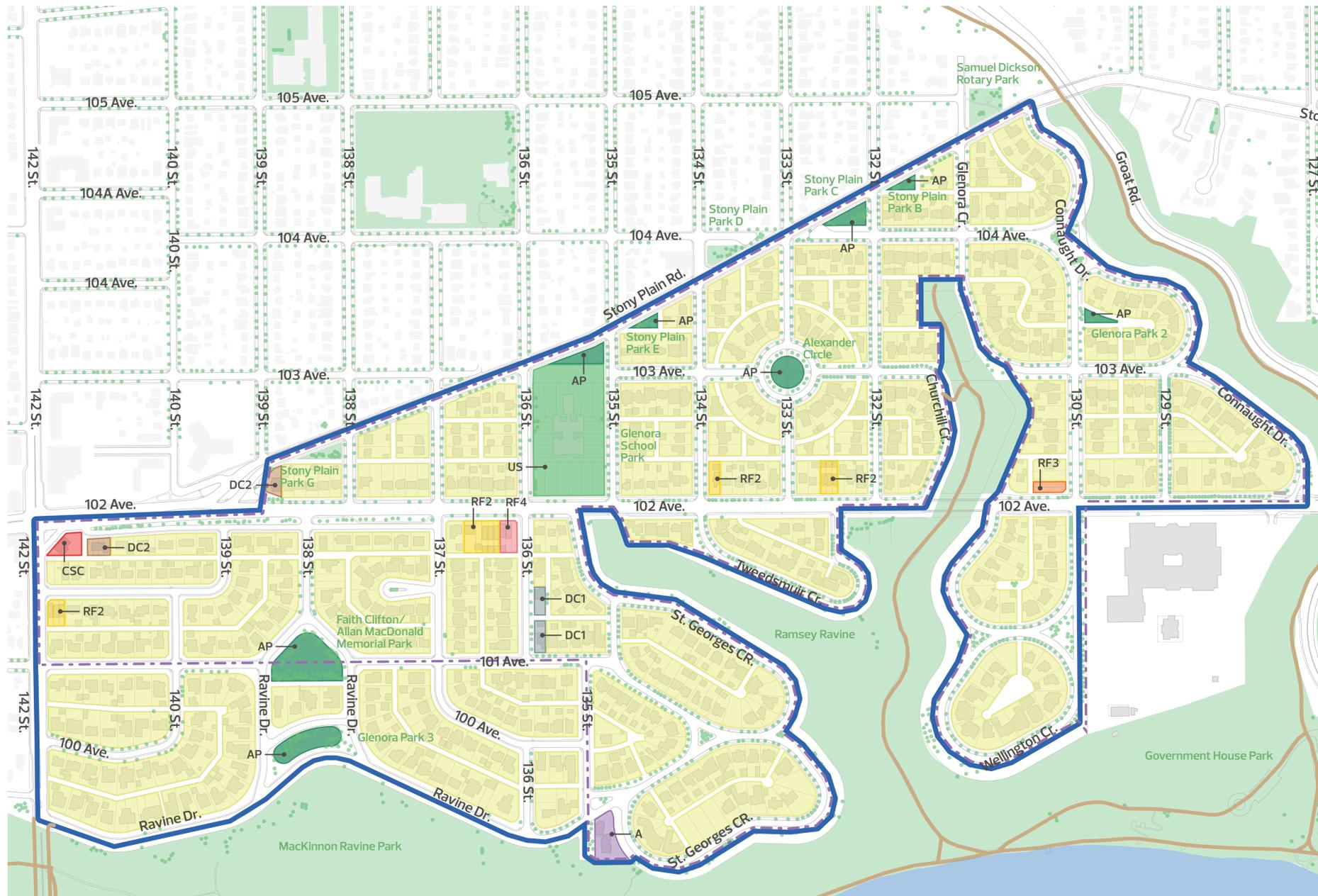
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Regulatory Context



- Glenora Heritage Character Area Rezoning Project Boundary
- Carruthers Caveat
- (RF1) Single Detached Residential Zone
- (RF2) Low Density Infill Zone
- (RF3) Small Scale Infill Development Zone
- (RF4) Semi-detached Residential Zone
- (DC1) Direct Development Control Provision
- (DC2) Direct Development Control Provision
- (CSC) Shopping Centre Zone
- (A) Metropolitan Recreation Zone
- (AP) Public Parks Zone
- (US) Urban Services Zone

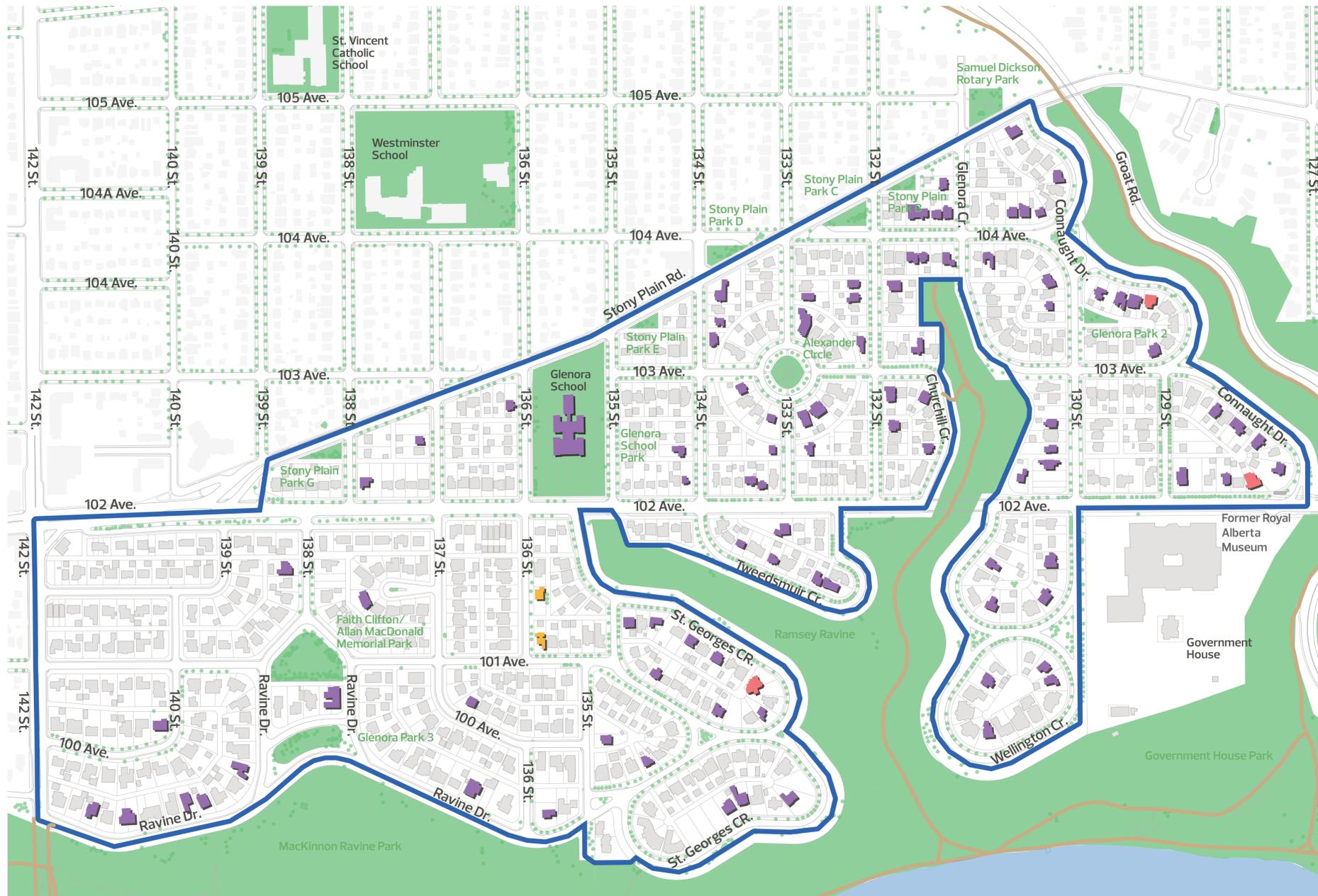
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Historically Significant Properties



What is the Inventory of Historic Resources in Edmonton?

The Inventory of Historic Resources is a list of properties that are historically and architecturally significant and merit conservation, but are not legally protected. Resources on the Inventory are eligible to be designated as a Municipal Historic Resource.

What is a Designated Municipal Historic Resource?

If a property is designated as a Municipal Historic Resource, it is legally protected from demolition or inappropriate alterations.

What is a Designated Provincial Historic Resource?

If a property is designated as a Provincial Historic Resource, it is associated with a significant aspect of Alberta's past and is legally protected under the Historical Resources Act.

- Glenora Heritage Character Area Rezoning Project Boundary
- Properties listed on the Inventory of Historic Resources in Edmonton
- Properties designated as a Municipal Historic Resource
- Properties designated as a Provincial Historic Resource

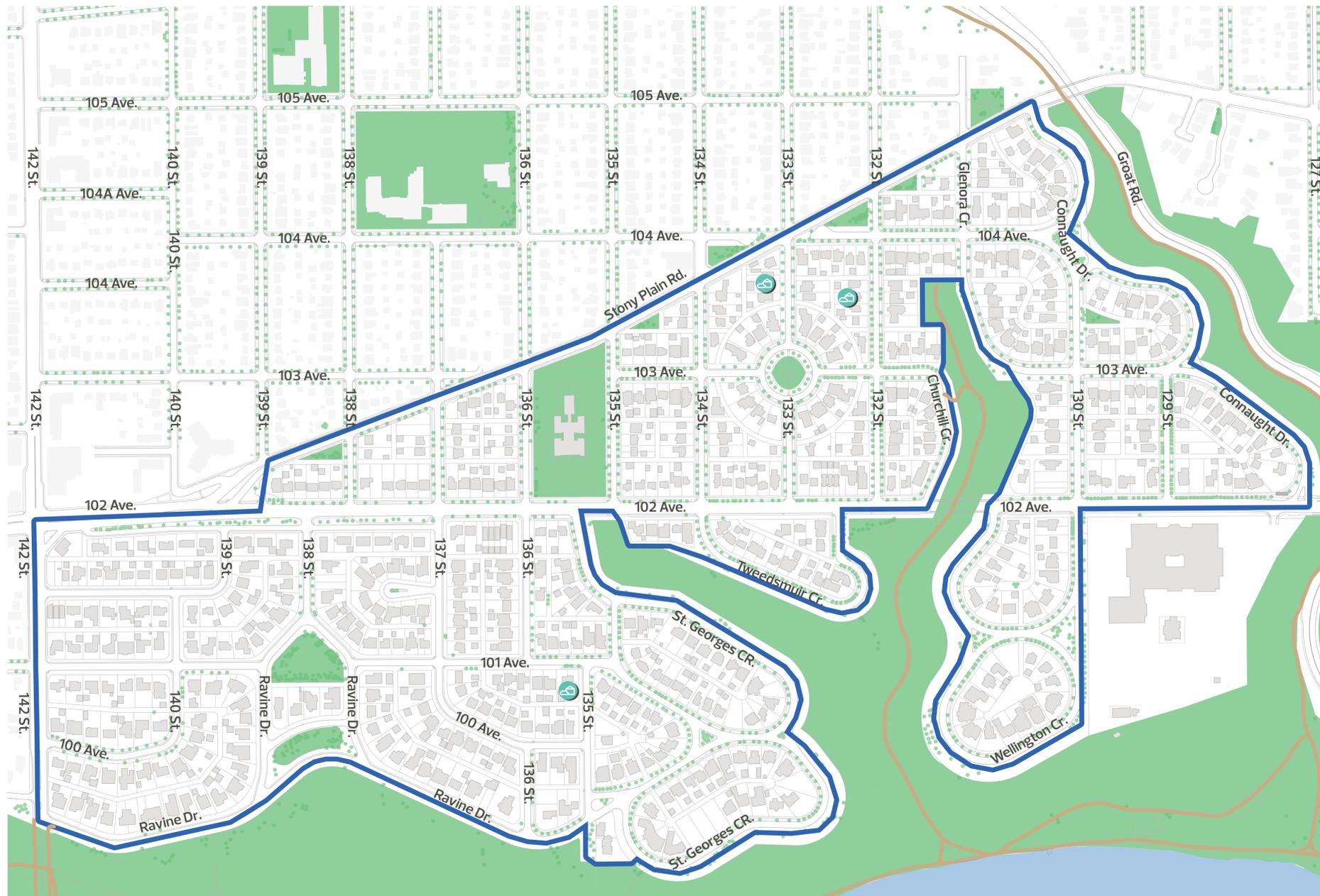
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Garden Suites



What is a 'Garden Suite'

Garden Suite means an Accessory building containing a Dwelling, which is located separate from the principal Use which is Single Detached Housing, and which may contain a Parking Area. A Garden Suite has cooking facilities, food preparation, sleeping and sanitary facilities which are separate from those of the principal Dwelling located on the Site.

Key insights

- + 3 garden suites have been developed within the project boundary since 2014.
- + Not all approved garden suites in the plan area are used as separate dwellings.
- + The average size of a garden suite is between 640 to 815 sq ft.

-  Glenora Heritage Character Area Rezoning Project Boundary
-  Garden Suite

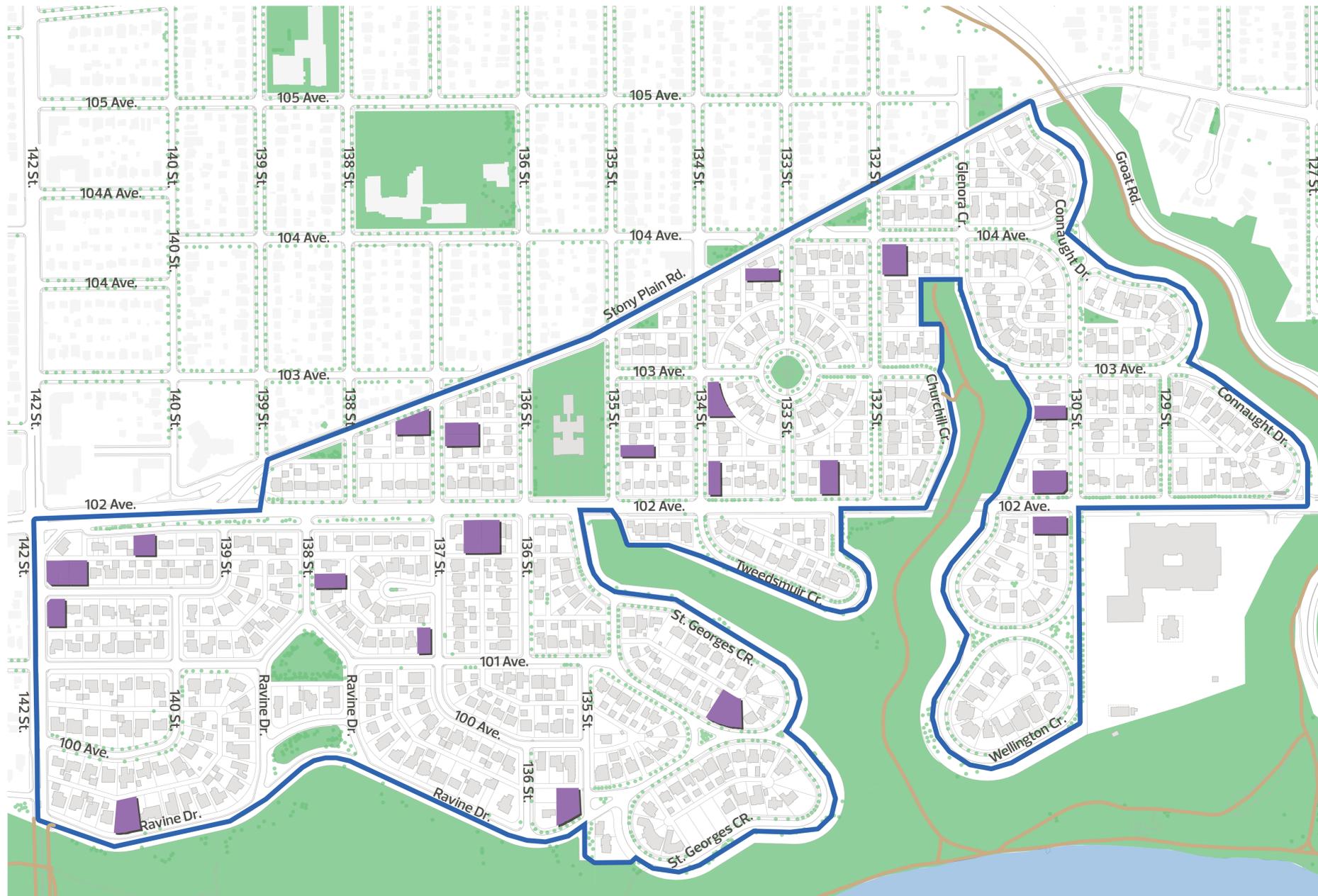
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Subdivision Applications



What is a subdivision of land?

A subdivision of land is the process of dividing a single property into two or more legal lots.

Key insights

- + 27 subdivision applications have been approved within the project boundary since 2011. One is currently under review.
- + The most common land use zone for a subdivided parcel is RF1 (71.4%) followed by RF2 (25%) and RF3 (3.6%)
- + Subdivisions occur most frequently in the Old Glenora Character Area

-  Glenora Heritage Character Area Rezoning Project Boundary
-  Subdivision Applications

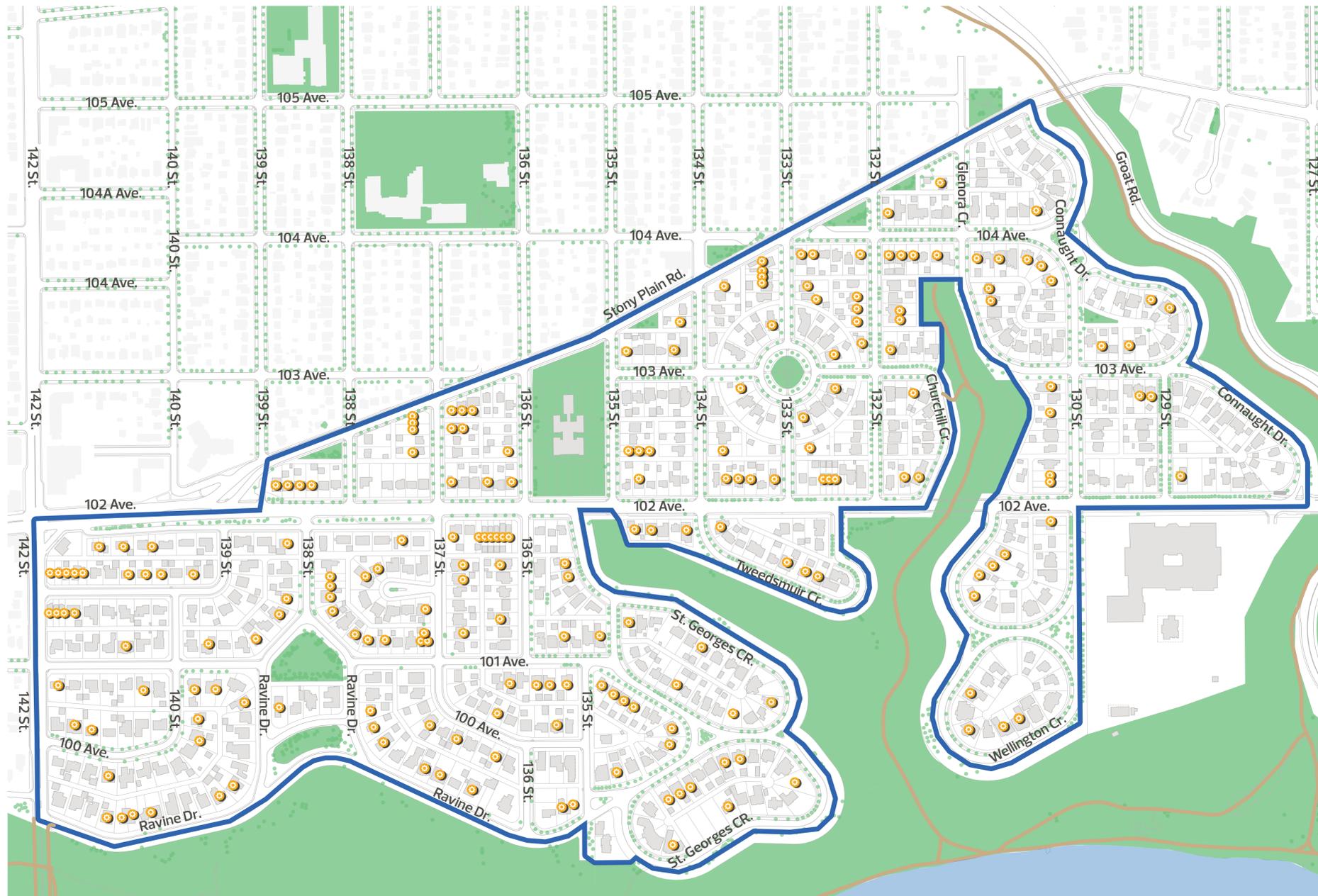
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Construction and Building Permits



Key insights

- + New buildings, which include dwelling units and accessory buildings, account for 37.5% of permits between 2009 and October, 2020
- + Demolition permits account for 26% of all permits between 2009 and October, 2020
- + Interior and exterior alterations, including decks, account for 22.4% of all permits between 2009 and October, 2020
- + The average number of construction and building permits per year, since 2009, is 39
- + 29% of all permits between 2009 and 2020 have been approved since 2018

- Glenora Heritage Character Area Rezoning Project Boundary
- ⊙ Construction and Building Permit

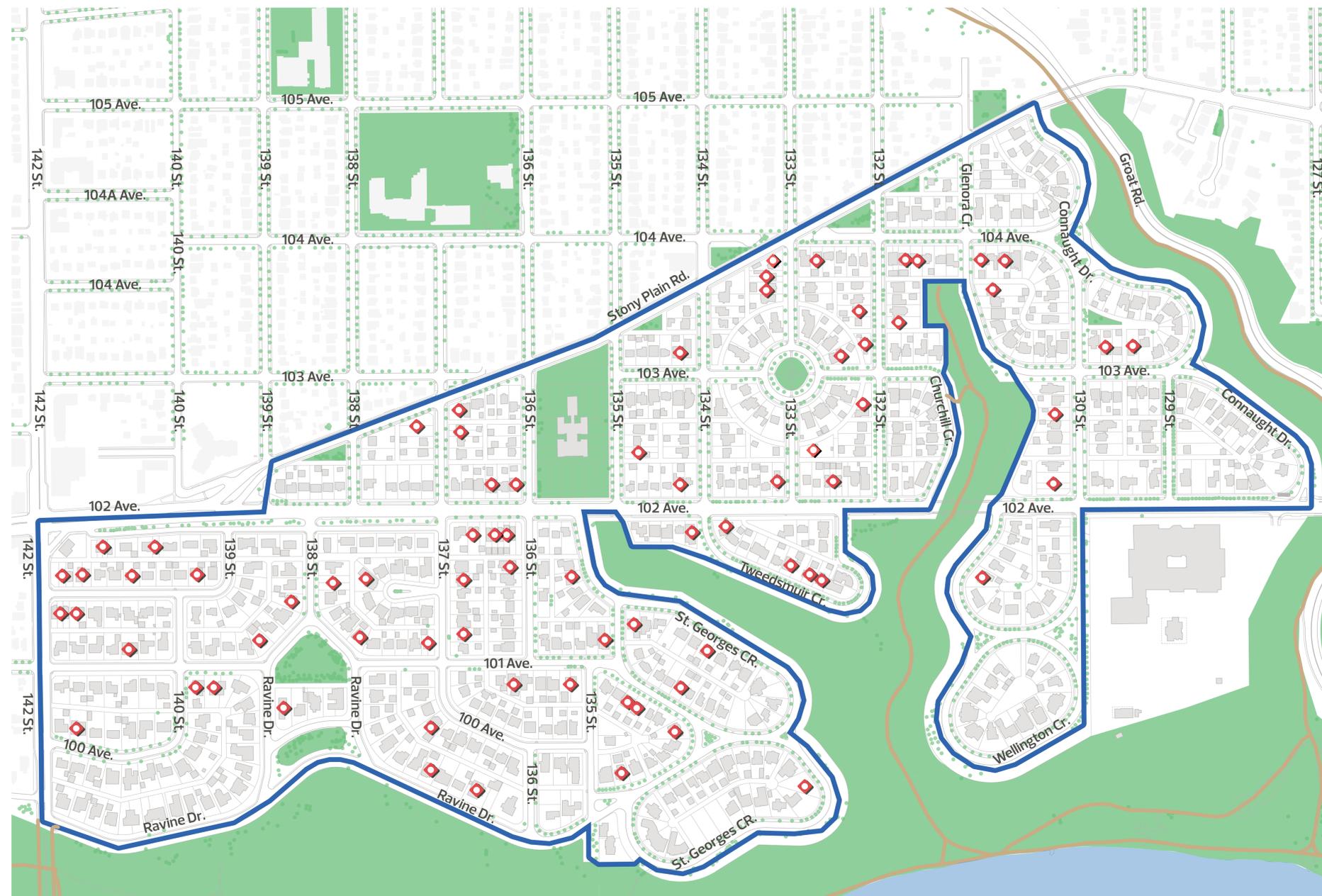
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Demolition Permits



Key insights

- + 103 demolition permits have been approved between 2009 and October, 2020
- + 53.3% of demolition permits are for detached garages
- + 46.7% of demolition permits are for single detached homes
- + The average number of demolition permits, between 2009 and October, 2020, is 9
- + 43.7% of all demolition permits between 2009 and October, 2020 have occurred since 2018

- Glenora Heritage Character Area Rezoning Project Boundary
- ◆ Demolition Permit

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Neighbourhood Character

Neighbourhood Development

- + Developed before the First World War as an exclusive neighbourhood influenced by the City Beautiful and Garden City Suburb movement.
- + The 1911 subdivision plan used the flow and topography of the ravine and surrounding landscape. Streets were designed to follow the natural contours of the landscape.
- + Key defining characteristics of the neighbourhood during its early development include large architecturally designed estate houses, curvilinear streets, irregularly shaped lots, landscaped boulevards, and wide setbacks which resulted in well-landscaped front yards.
- + The highest concentration of building occurred in the late 1920s to early 1930s, described as Glenora's 'Golden Age' of architecture. Many homes were built by prominent architects in the Period Revival style.
- + Development stalled during the late 1930s through the Second World War, resuming in the late 1940s with the post-war boom.
- + During this period, more modest houses were constructed on smaller lots in the Minimal Traditional and Modern styles.

What are the Garden City and Garden Suburb movements?

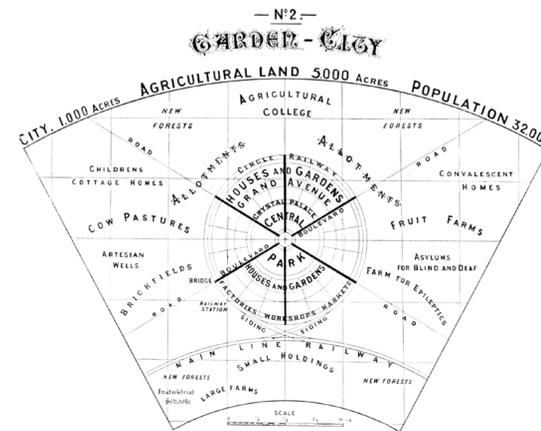
- + Developed by Sir Ebenezer Howard in the late 1800s as a reaction to the overcrowding of cities and industrial pollution in England.
- + Envisioned as self-contained communities surrounded by greenbelts, combining the benefits and amenities of the town with those of the country.
- + Planned in concentric patterns of open spaces, parks, and radial boulevards with a primary focus on a readily accessible natural environment.
- + Often designed to incorporate the natural topography of an area into the layout of streets and orientation of building lots.
- + Influential with new suburban design and community planning in the early 1900s.
- + In Glenora, these movements were applied in such a way as to extend the greenery of the river valley into the neighbourhood. The effect gives the sense of the neighbourhood integrating with the natural topography.



Janes Residence (left) – Storybook Revival
Boyce Residence (right) Tudor Revival



Leiberman Residence – Dutch Colonial Revival



Howard's Garden City Concept



Early Glenora Subdivision

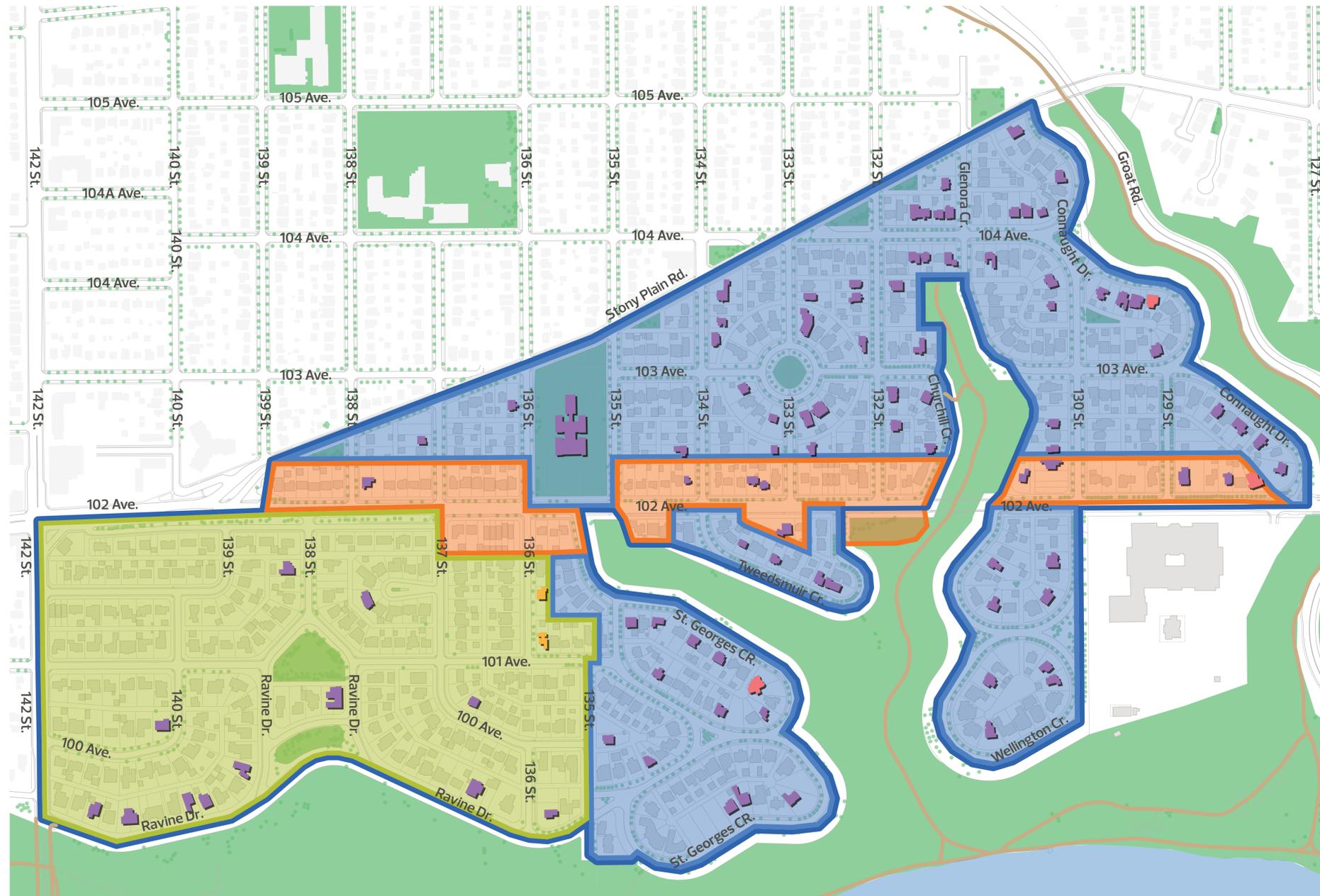
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Glenora Character Areas



Character Areas

The Historic Context paper for the neighbourhood identified three Heritage Character Areas.

- + Old Glenora Character Area
- + 102 Avenue Character Area
- + Capital Hill Character Area

Each of the three character areas is significant in terms of the original building stock, development and massing patterns, landscape features, and pedestrian and vehicle access characteristics.

- Glenora Heritage Character Area Rezoning Project Boundary
- Old Glenora Character Area
- 102 Avenue Character Area
- Capital Hill Character Area
- Properties listed on the Inventory of Historic Resources in Edmonton
- Properties designated as a Municipal Historic Resource
- Properties designated as a Provincial Historic Resource

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Glenora Character Areas

Old Glenora Character Area

- + Surveyed in 1911 by Richard H. Knight who utilized a standard grid-iron layout in the western section and a Garden City Suburb in the south and eastern sections.
- + Characterized by curvilinear streets lined with mature trees, Irregular-shaped parklets to the south, and a large circular block (Alexander Circle) in the middle and a grid-iron layout.
- + The highest concentration of buildings developed during Glenora's Golden Age of Architecture and one of the best-preserved Garden City Suburb neighbourhoods in Canada.
- + 75 historic resources.



Alexander Circle

102 Avenue Character Area

- + Originally called Athabasca Avenue, 102 Avenue was built in stages starting in 1913.
- + James Carruthers funded the development of the Groat Ravine Bridge in 1911 in exchange for the extension of the streetcar service along 102 Avenue to Wellington Crescent.
- + Characterized by a strong east-west orientation, landscaped boulevards with mature trees on the north side of the street and grassed boulevards on the south side of the street.
- + Architecture reminiscent of the Period Revival, Minimal Traditional, and Modern style.
- + Form, massing and scale includes one to two-storey structures, wide setbacks, and well-landscaped lots
- + 9 historic resources.



Dr. W.D. Ferris Residence (Arts and Crafts) along 102 Avenue

Capital Hill Character Area

- + Subdivided in 1907 by John B. Gardiner, replotted in 1930 and again in 1949 with Garden City influences including curvilinear blocks and preserved natural enclaves.
- + Architecture characterized by buildings in the Modern style.
- + Form, massing and scale includes one to two-storey structures with wide set-back and well-landscaped lots.
- + Ravine Drive West originally consisted of 1950s bungalows recognized for their interpretation of modern design.
- + 14 historic resources.



Character along Ravine Drive

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Streetscape Character

5 101 Avenue



6 103 Avenue



7 132 Street



8 132 Street



1 Ravine Drive



2 Ravine Drive



3 135 Street



4 St Georges Crescent

Streetscape Character

- + Earliest transportation route in the community was Stony Plain Road, which served as a First Nation's trail and fur trade route
- + Street layout is influenced by the City Beautiful and Garden City Suburb movements
- + The 1911 subdivision plan incorporates a grid-iron layout to the west and a more refined Garden City Suburb layout to the south and east
- + 102 Avenue served as the primary east-west connection in and out of the city, operating as a streetcar line until the 1930s

Key Features

- + Winding roads are influenced by the geographical and topographical nature of the river valley and ravine system
- + Utilization of gridiron and curvilinear roadway design
- + Old Glenora Character Area and 102 Avenue Character Area includes tree-lined boulevard sidewalks, and cast iron lighting standards
- + Capital Hill Character area includes curbside sidewalks and does not include boulevard trees

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Parks & Open Spaces



Park and Open Space

Typology

- + River Valley and Ravine system
- + Roadway green space
- + Pocket park
- + School park

Key Features

- + The River Valley and Ravine system has influenced the design of the roadway and lot configurations
- + Internal pocket parks typically contain mature trees around the perimeter, seating areas, and open green spaces within the center
- + Perimeter pocket parks contain mature trees, lack seating areas, and are often adjacent to a laneway
- + Roadway green spaces are typically triangular with clusters of trees at each corner and often contain additional landscaping such as shrubs and flowers
- + Glenora School Park and the River Valley and Ravine system support active and passive uses, while the pocket parks and roadway green spaces support passive uses

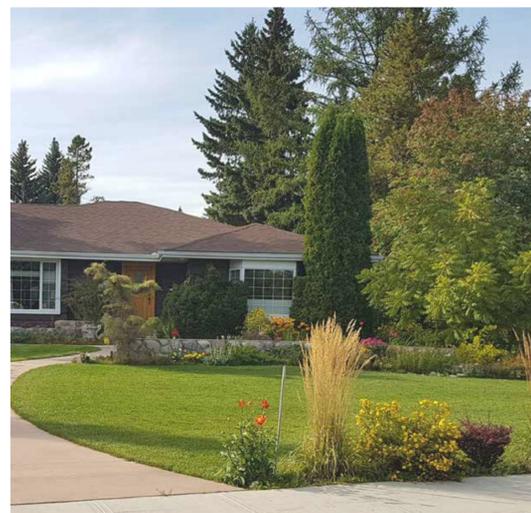
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Landscaping



Edmonton Zoning Bylaw includes the following landscaping requirements:

For single detached housing:

- + One deciduous tree, one coniferous tree and four shrubs for a site width less than 10.0m
- + Two deciduous trees, one coniferous tree and six shrubs for a site width between 10.0m and 13.0m
- + Two deciduous trees, two coniferous trees and eight shrubs for a site width greater than 13.0m

For semi-detached and duplex housing:

- + One deciduous tree, one coniferous tree and four shrubs for a site width less than 13.0m
- + One deciduous tree, one coniferous tree and six shrubs for a site width greater than 13.0m

Key Private Landscaping Features in Glenora

- + The Garden City Suburb movement influenced the siting of buildings on a lot, resulting in large setbacks from the street to allow for ample private front gardens
- + Many of lots within the project area boundary have well landscaped front yards, often exceeding the City's minimum landscaping standards

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Architectural Styles

Some of the key architectural styles found within the project area boundary are explained below.

Arts and Crafts



Key Features

- + Gable or hipped roof with unenclosed eaves
- + Hipped or gable dormers
- + Exposed rafters
- + Covered front porches supported by square columns
- + Decorative beams and brackets
- + Large, multi-fluted chimneys
- + Ornate detailing
- + Typically found in the Old Glenora and 102 Avenue Character Areas

Craftsman



Key Features

- + Low pitched gable or hipped roofs with wide overhanging eaves
- + Shed, gable, or hipped dormers
- + Exposed rafters
- + Decorative brackets
- + Half or full-width covered porches supported by tapered, square columns
- + Double-hung windows with multiple lights
- + Typically found in the Old Glenora Character Area

Cape Cod



Key Features

- + Steep-pitched gable roof
- + Gable dormers
- + Low, broad, single or two-story building
- + Symmetrical facade with minimal ornamentation
- + Centered door with symmetrical windows on either side
- + Often clad in clapboard siding or wooden shingles
- + Typically found in the Old Glenora and

Dutch Colonial Revival



Key Features

- + Gambrel roof, often with a continuous shed dormer
- + Two storeys in height
- + Symmetrical facade with central entrance, often with a fanlight
- + Double hung windows with shutters set in pairs or triples
- + Chimneys on the side wall
- + Horizontal clapboard siding
- + Typically found in the Old Glenora Character Area

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Architectural Styles

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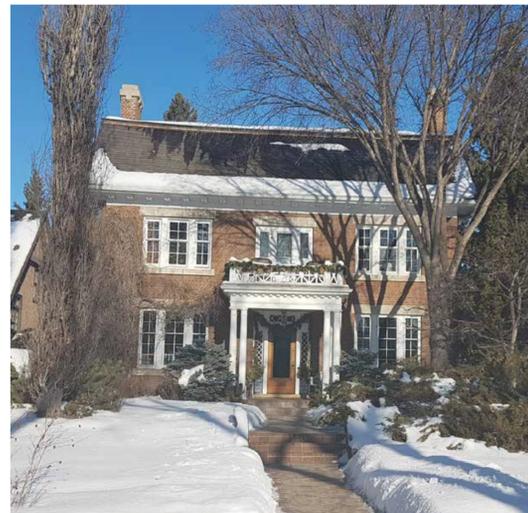
Edwardian Foursquare



Key Features

- + Low-pitched hipped roof
- + Hipped or gable dormers
- + Two stories in height
- + Symmetrical facade, usually clad in brick, clapboard, or wooden shingles
- + Full-width covered front porch supported by square or tapered columns
- + Square building footprint
- + Typically found in the Old Glenora and 102 Avenue Character Areas

Georgian Revival



Key Features

- + Hipped or side-gabled roof
- + Two stories in height
- + Symmetrical facade
- + Centered door, accentuated by a pediment and supporting pilasters.
- + Often includes a sheltered portico, supported by columns with a balustraded deck
- + Vertically oriented windows with double-hung sashes
- + Typically found in the Old Glenora and Capital Hill Character Areas

International



Key Features

- + Flat roofs
- + Asymmetrical facades with plain surfaces, void of ornamentation
- + Square or rectangular building footprints with cubic forms and cantilevered projections
- + Large corner window openings
- + Typically found in the Capital Hill Character Area

Late Modern



Key Features

- + Front gabled roof with clipped eaves
- + Clerestory windows
- + Typically found in the Old Glenora and Capital Hill Character Areas

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Architectural Styles

Some of the key architectural styles found within the project area boundary are explained below.

Minimal Traditional with Italianate Detailing



Key Features

- + Low-pitched or flat roofs, often hipped
- + Prominent cornice structures and towers
- + Arched doors and windows, often in triple assemblies, vertical in orientation
- + Typically found in the Old Glenora Character Area

Modern Contemporary



Key Features

- + Emphasis on rectangular forms with horizontal and vertical lines
- + Generous use of glass and natural light
- + Often one-storey in height
- + Typically found in the Capital Hill Character Area

Modern Bungalow



Key Features

- + Low-pitched, hipped roof with deep eaves
- + Wide, low-profile building one storey in height
- + Large picture windows, in some instances with multiple lights
- + Modest detailing, often including window shutters
- + Often clad in lapped wooden siding or pebble-dash stucco
- + Typically found in the Old Glenora and Capital Hill Character Areas

Modern West Coast



Key Features

- + Flat or low-pitched roofs, often with clerestory windows and deep eaves with exposed rafters
- + Facades are often divided into panels of windows,
- + Simple and lacking excessive ornamentation
- + Clad in stucco or wood siding
- + Set at ground level
- + Typically found in the Capital Hill Character Area

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Architectural Styles

Some of the key architectural styles found within the project area boundary are explained below.

Spanish Revival



Key Features

- + Low-pitched shed, or flat roofs with terracotta clay roof tiles with minimal to no eave overhang
- + Prominent arches, typically over the door or main windows
- + Canvas awnings, built-in niches and alcoves, wrought-iron ornamentation or railing
- + Exposed wood ceiling beams
- + Stucco exterior in pale earth tones with highlights of pink or orange
- + Typically found in the Old Glenora Character Area

Streamline Moderne



Key Features

- + Flat roofs
- + Asymmetrical facades often in stucco or concrete, little ornamentation
- + Geometric shapes with rounded corners
- + Wrap-around windows often using glass blocks
- + Horizontal banding (speedlines) in aluminum or steel
- + Typically found in the Old Glenora Character Area

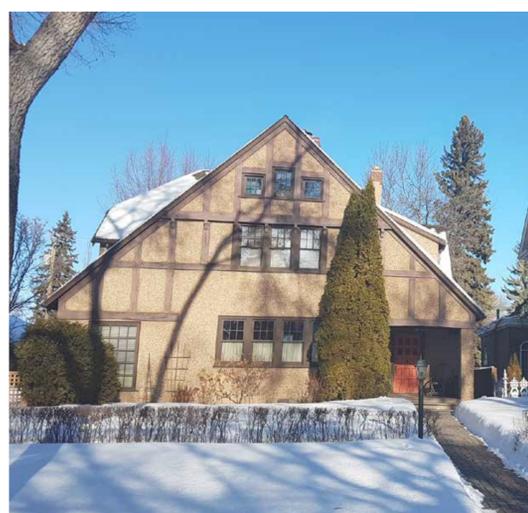
Storybook Revival



Key Features

- + Steep cross-gabled or hipped roof
- + Sloping, even roof (cat-slide)
- + Asymmetrical facade
- + Strongly vertical gabled bays and dormers
- + Arched doors
- + Usually clad in stucco
- + Typically found in the Old Glenora Character Area

Tudor Revival



Key Features

- + Steeply pitched side gable roof with prominent cross-gables
- + Decorative half-timbering
- + Large chimneys with decorative brickwork
- + Tall, narrow, multi-paned windows
- + Use of a variety of exterior materials including brick, stone, stucco and wood
- + Typically found in the Old Glenora Character Area

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