The background of the page is a detailed isometric illustration of a city scene. It includes various elements such as buildings, a train on tracks, a bicycle, a coffee cup, a desk with a chair, a construction crane, and various trees and clouds. The illustration is rendered in a light blue and yellow color palette.

Draft Zoning Bylaw: Residential Zone Modelling (May 2023)

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How to Use this Document

This document was prepared to help visualize the development potential under each residential zone of the draft Zoning Bylaw. This document is for illustrative purposes only and is intended to assist readers in understanding:

- the purpose of each residential zone;
- the approximate scale of development allowed under each residential zone; and
- the context in which each residential zone could potentially be applied.

This document contains the following information:

Scenario Models

Each zone features a sample of one or more scenario models to highlight some of the different development opportunities under each zone. Each scenario outlines the development assumptions under which the model was made. Text in parentheses "(e.g. min: 10.0 m)" indicates the minimum or maximum regulation requirements proposed in the zone. Text outside the parentheses indicates the actual measurement represented in the diagram.

Context Diagrams

Context diagrams have been provided for each zone to help conceptualize where these zones could potentially be applied.

Glossary

A glossary is provided at the end of this document to explain terms used in the diagrams.

For a comparison of the draft (RS) Small Scale Residential Zone with zones in the current Zoning Bylaw, please refer to the Draft (RS) Small Scale Residential Zone Scenario Modelling document.

Note: *This document reflects the version of the draft Zoning Bylaw shared for public feedback in May 2023. The draft Zoning Bylaw is subject to change as further refinements are made through additional public engagement.*

(RS) Small Scale Residential Zone

RS ZONE: SINGLE DETACHED HOUSE WITH REAR DETACHED GARAGE

SITE CONTEXT

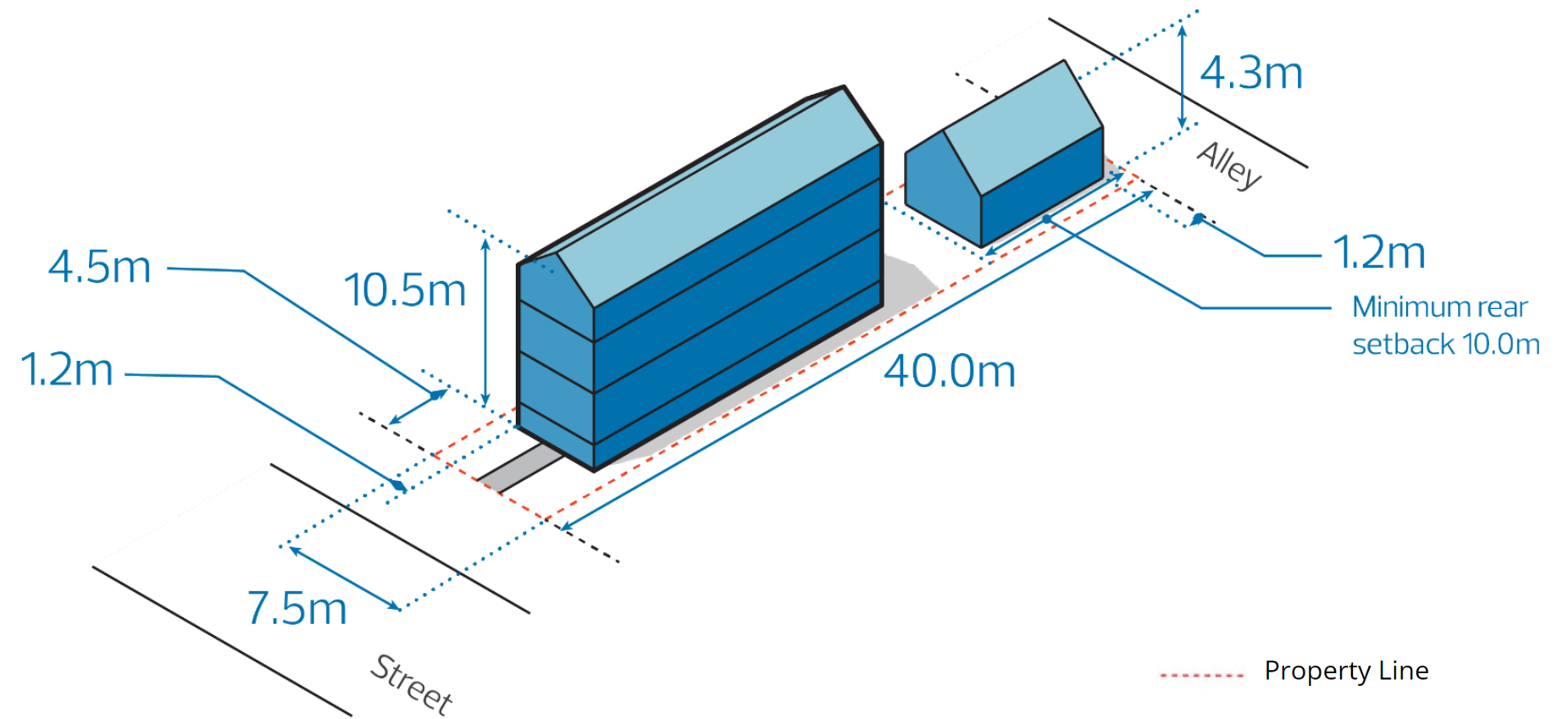
- Internal narrow lot
- Alley access

DEVELOPMENT ASSUMPTIONS

- **Site area:** 300.0 m² (min: 75.0 m² per dwelling)
- **Site width:** 7.5 m (min: 7.5 m)
- **Site depth:** 40 m (min: 30.0 m)
- **Total site coverage:** 47% (max: 47%)
- **Site coverage of house:** 37% (no min or max)
- **Site coverage of garage:** 10% (max: 20%)
- **Building dimensions:** 5.1 m x 19.4 m (max building length: 30 m)
- **Garage dimensions:** 5.1 m x 8.2 m
- **Building height:** 10.5 m (max: 10.5 m)
- **Basement height:** 1.5 m (max: 1.8 m)
- **Floor-to-floor height:** 3.0 m (no min or max)
- **Garage height:** 4.3 m (max: 4.3 m)
- **Front setback:** 4.5 m (min: 4.5 m)
- **Rear setback:** 16.1 m (min: 10.0 m)
- **Side setbacks:** 1.2 m (min: 1.2 m)

Additional Notes

- In this scenario, the house reaches maximum site coverage before it reaches the minimum rear setback.



RS ZONE: SEMI-DETACHED HOUSE WITH REAR DETACHED GARAGE

SITE CONTEXT

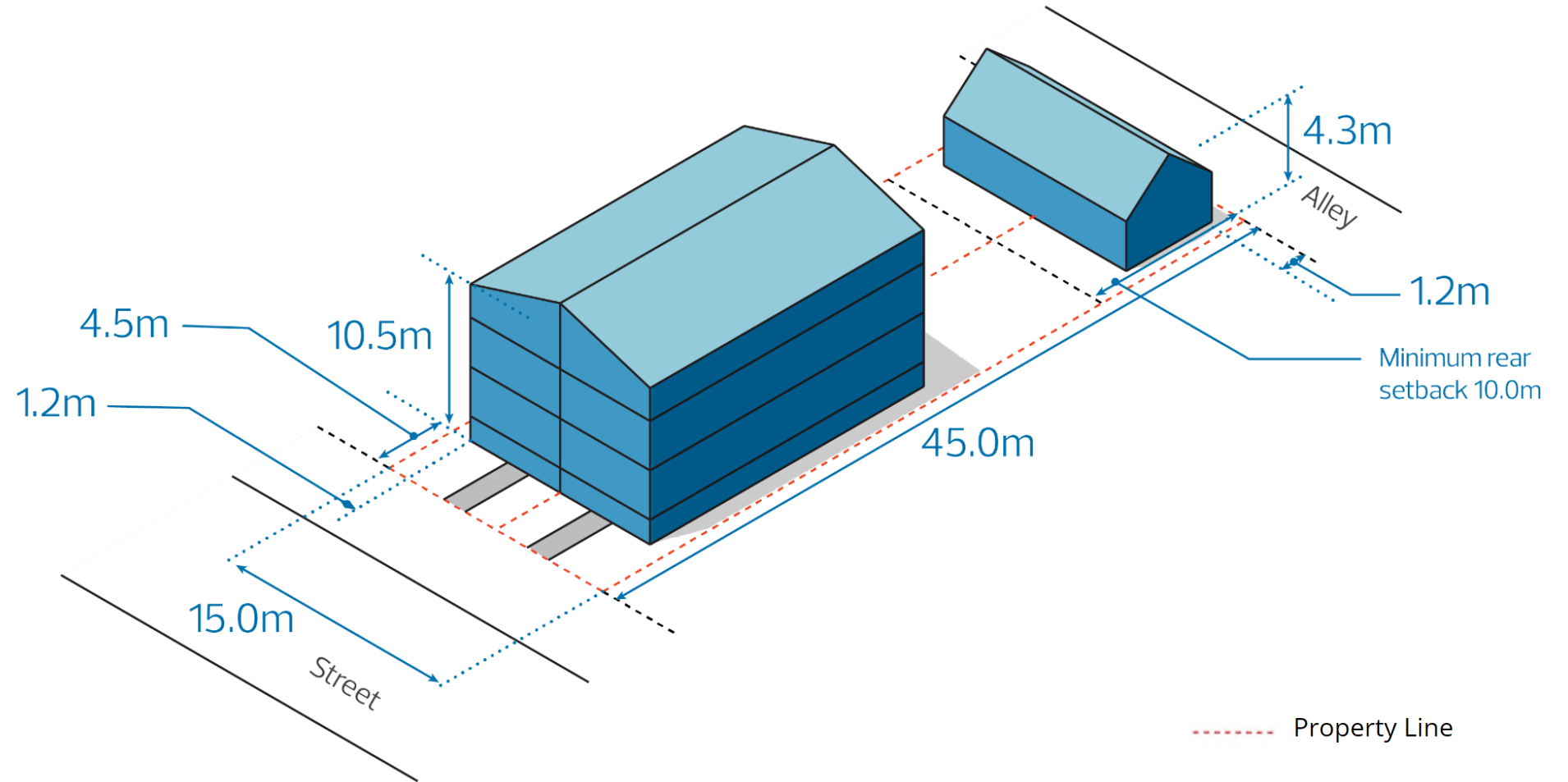
- Internal site
- Each attached dwelling is developed on its own lot
- Alley access

DEVELOPMENT ASSUMPTIONS

- **Site area:** 675.0 m² (min 75.0 m² per dwelling)
- **Site width:** 15 m (min - 7.5 m)
- **Lot width:** 7.5 m (min - 4.0 m for attached dwellings abutting an alley)
- **Site depth:** 45.0 m (min - 30.0 m)
- **Total site coverage:** 47% (max - 47%)
- **Site coverage of house:** 36% (no min / max)
- **Site coverage of garage:** 11% (max - 20%)
- **Building dimensions:** 12.6 m x 19.2 m (max building length - 30.0 m)
- **Garage dimensions:** 12.8 m x 6.0 m
- **Building height:** 10.5 m (max - 10.5 m)
- **Basement height:** 1.5 m (max - 1.8 m)
- **Floor-to-floor height:** 3.0 m (no min / max)
- **Garage height:** 4.3 m (max - 4.3 m)
- **Front setback:** 4.5 m (min - 4.5 m)
- **Rear setback:** 21.3 m (min - 10.0 m)
- **Side setbacks:** 1.2 m (min - 1.2 m)

Additional Notes

- In this scenario, the semi-detached house reaches maximum site coverage before it reaches the minimum rear setback.



RS ZONE: BACKYARD HOUSING

SITE CONTEXT

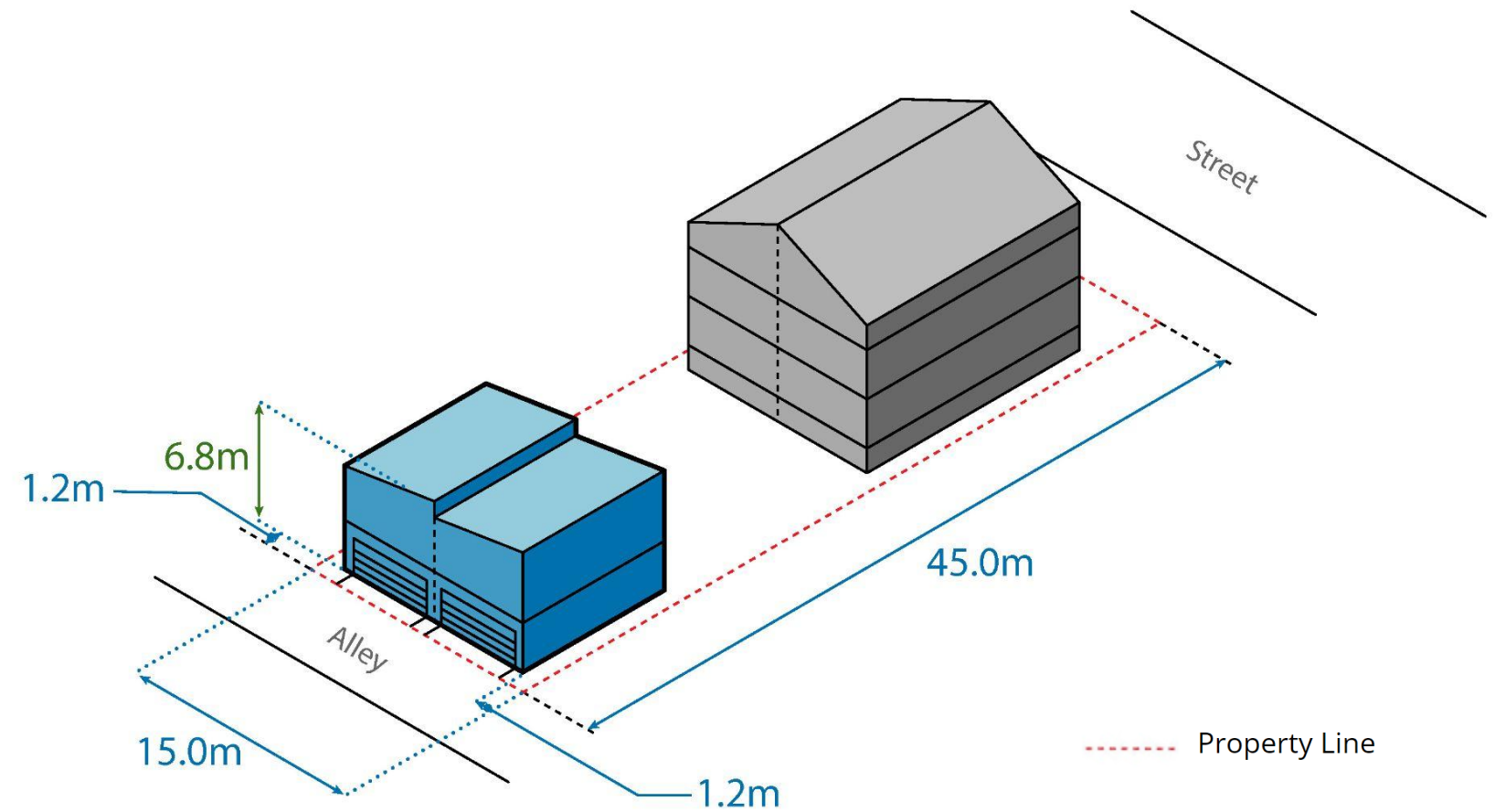
- Interior lot
- Alley access

DEVELOPMENT ASSUMPTIONS

- **Site area:** 675.0 m² (min 75.0 m² per dwelling)
- **Site width:** 15 m (min - 7.5 m)
- **Site depth:** 45 m (min - 30.0 m)
- **Total site coverage:** 46.6% (max 47%)
- **Site coverage of backyard housing:** 18.6% (max - 20%)
- **Backyard housing dimensions:** 12.6 m x 10 m (max 2nd storey building length - 15.0 m)
- **Backyard housing height:** 6.8 m (max - 6.8 m)
- **Floor-to-floor height:** 3.0 m (no min / max)
- **Rear setback for backyard housing:** 1.2 m (min - 1.2 m)
- **Side setback for backyard housing:** 1.2 m (min - 1.2 m)
- **Second storey floor area:** 60 m² per dwelling (max 60 m² per dwelling, excluding interior stairs)
- **Distance between dwelling and backyard house:** 14.3 m (min 3.0 m)

Additional Notes

- Garden suites are proposed to be renamed 'backyard housing' in the new Zoning Bylaw.



RS ZONE: MID-BLOCK ROW HOUSE

SITE CONTEXT

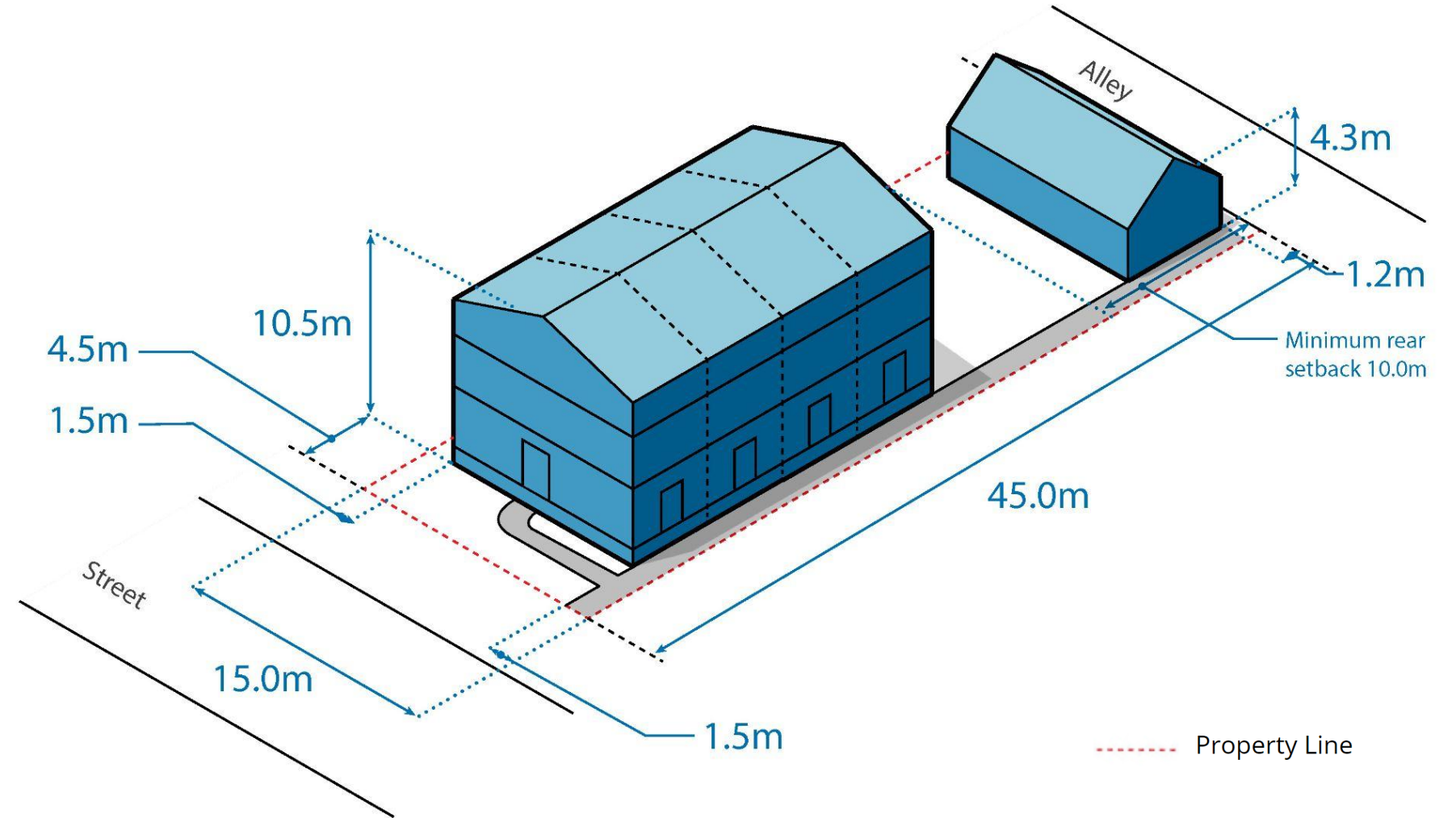
- Interior lot
- Row House is facing the side lot line
- Alley access

DEVELOPMENT ASSUMPTIONS

- **Site area:** 675.0 m² (min 75.0 m² per dwelling)
- **Site width:** 15 m (min - 7.5 m)
- **Site depth:** 45 m (min - 30.0 m)
- **Total site coverage:** 46.5% (max - 47%)
- **Site coverage of house:** 35.5% (no min / max)
- **Site coverage of garage:** 11% (max - 20%)
- **Row House dimensions:** 12.0 m x 20 m (max building length - 30 m)
- **Garage dimensions:** 12.0 m x 6.2 m
- **Building height:** 10.5 m (max - 10.5 m)
- **Floor-to-floor height:** 3.0 m (no min / max)
- **Basement height:** 1.5 m (max - 1.8 m)
- **Garage height:** 4.3 m (max - 4.3 m)
- **Front setback:** 4.5 m (min - 4.5 m)
- **Rear setback:** 20.5 m (min - 10.0 m)
- **Side setbacks:** 1.5 m (min - 1.5 m where row housing faces a side lot line)

Additional Notes

- In this scenario, the row house reaches maximum site coverage before it reaches the minimum rear setback.
- Row housing is not currently allowed in the RF1, RF2, RF4, RMH or RF4t Zones.



RS ZONE: CLUSTER HOUSING

SITE CONTEXT

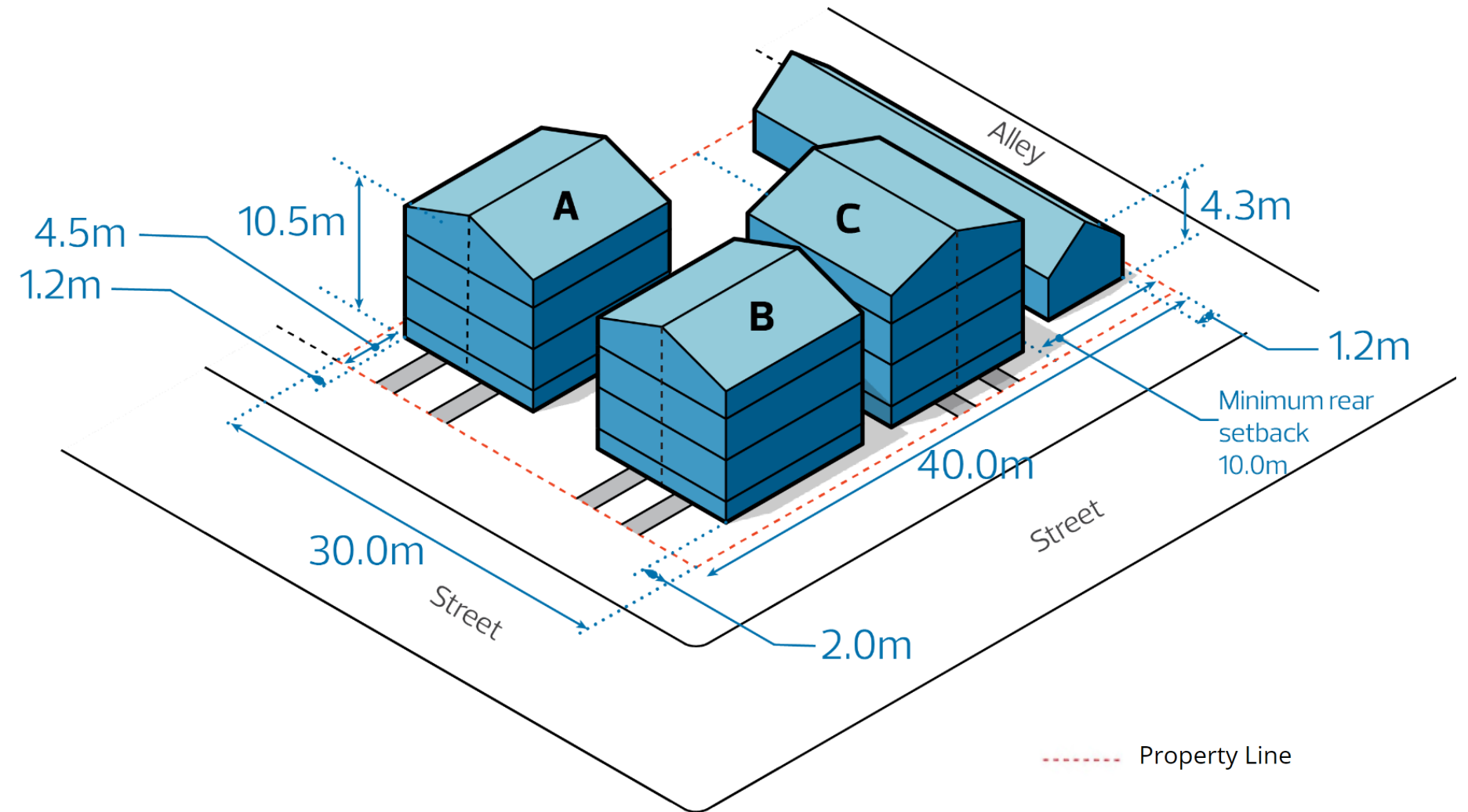
- Corner lot
- Alley access

DEVELOPMENT ASSUMPTIONS

- **Site area:** 1,200 m² (min 75.0 m² per dwelling)
- **Site width:** 30 m (min - 7.5 m)
- **Site depth:** 40 m (min - 30.0 m)
- **Total site coverage:** 44% (max 47%)
- **Dimensions of buildings:** (max building length - 30 m)
 - A: 11.4 m x 10.7 m
 - B: 11.4 m x 10.7 m
 - C: 12 m x 11 m
- **Site Coverage of garage:** 12.6% (max - 20%)
- **Building height:** 10.5 m (max - 10.5 m)
- **Basement height:** 1.5 m (max 1.8 m)
- **Floor-to-floor height:** 3.0 m (no min / max)
- **Front setback:** 4.5 m (min - 4.5 m)
- **Rear setback:** 10.4 m (min - 10.0 m)
- **Interior side setback:** 1.2 m (min - 1.2 m)
- **Flanking side setback:** 2.0 m (min - 2.0 m when a main entrance faces the flanking street)
- **Distance between dwelling and backyard house:** 3.6 m (min 3.0 m)

Additional Notes

- Cluster housing is not currently allowed in the RF1 and RF2 Zones. The RF4 and RF4t Zones allow cluster housing with a maximum density of 35 dwellings per hectare.



RS ZONE: SMALL APARTMENT BUILDING

SITE CONTEXT

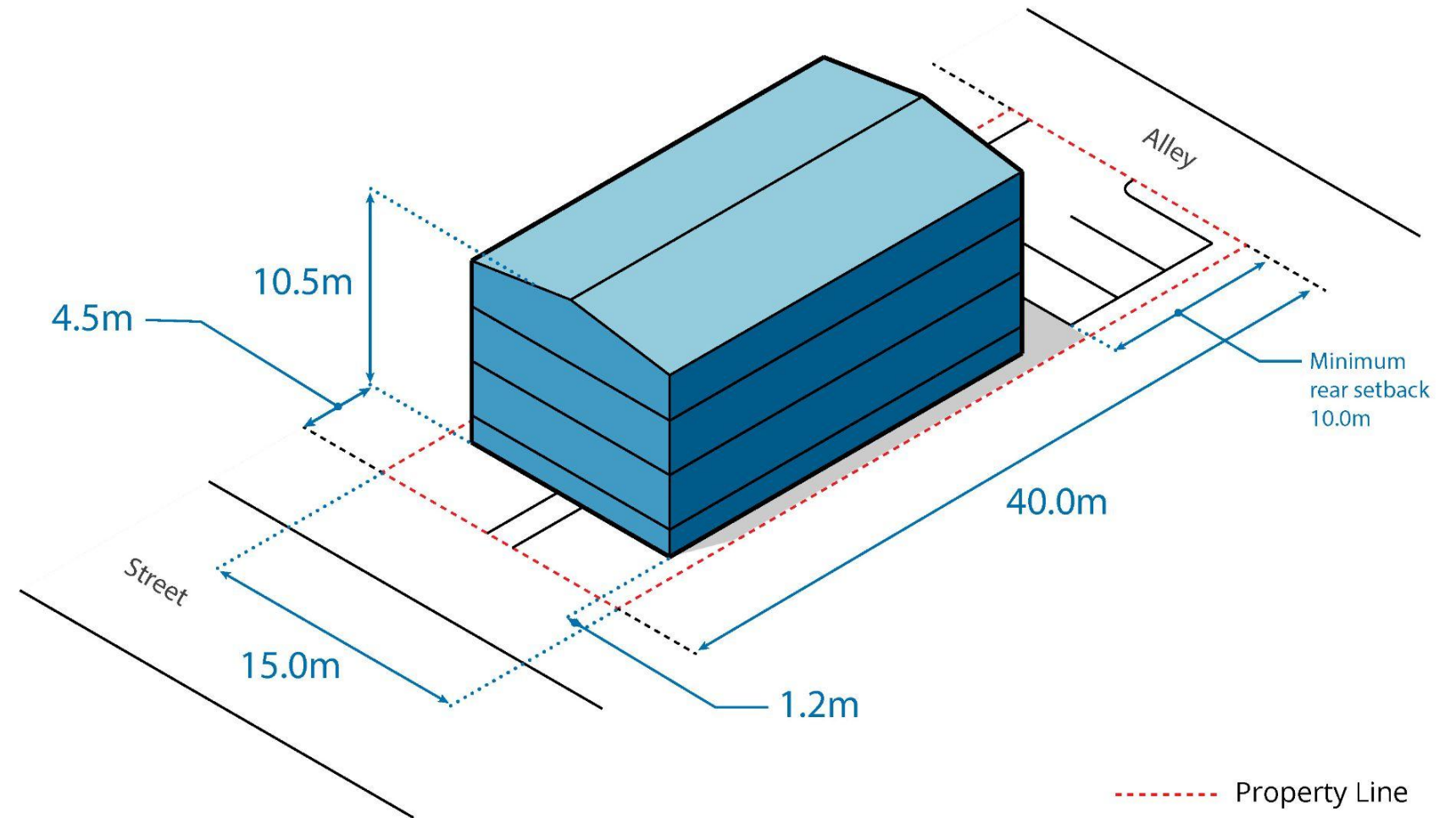
- Interior lot
- Alley access

DEVELOPMENT ASSUMPTIONS

- **Site area:** 600.0 m² (min 75.0 m² per dwelling)
- **Site width:** 15.0 m (min - 7.5 m)
- **Site depth:** 40.0 m (min - 30.0 m)
- **Total site coverage:** 47% (max 47%)
- **Building dimensions:** 12.6 m x 22.4 m (max building length - 30 m)
- **Building height:** 10.5 m (max - 10.5 m)
- **Basement height:** 1.5 m (max 1.8 m)
- **Floor-to-floor height:** 3.0 m (no min / max)
- **Front setback:** 4.5 m (min - 4.5 m)
- **Rear setback:** 13.1 m (min - 10.0 m)
- **Side setbacks:** 1.2 m (min - 1.2 m)

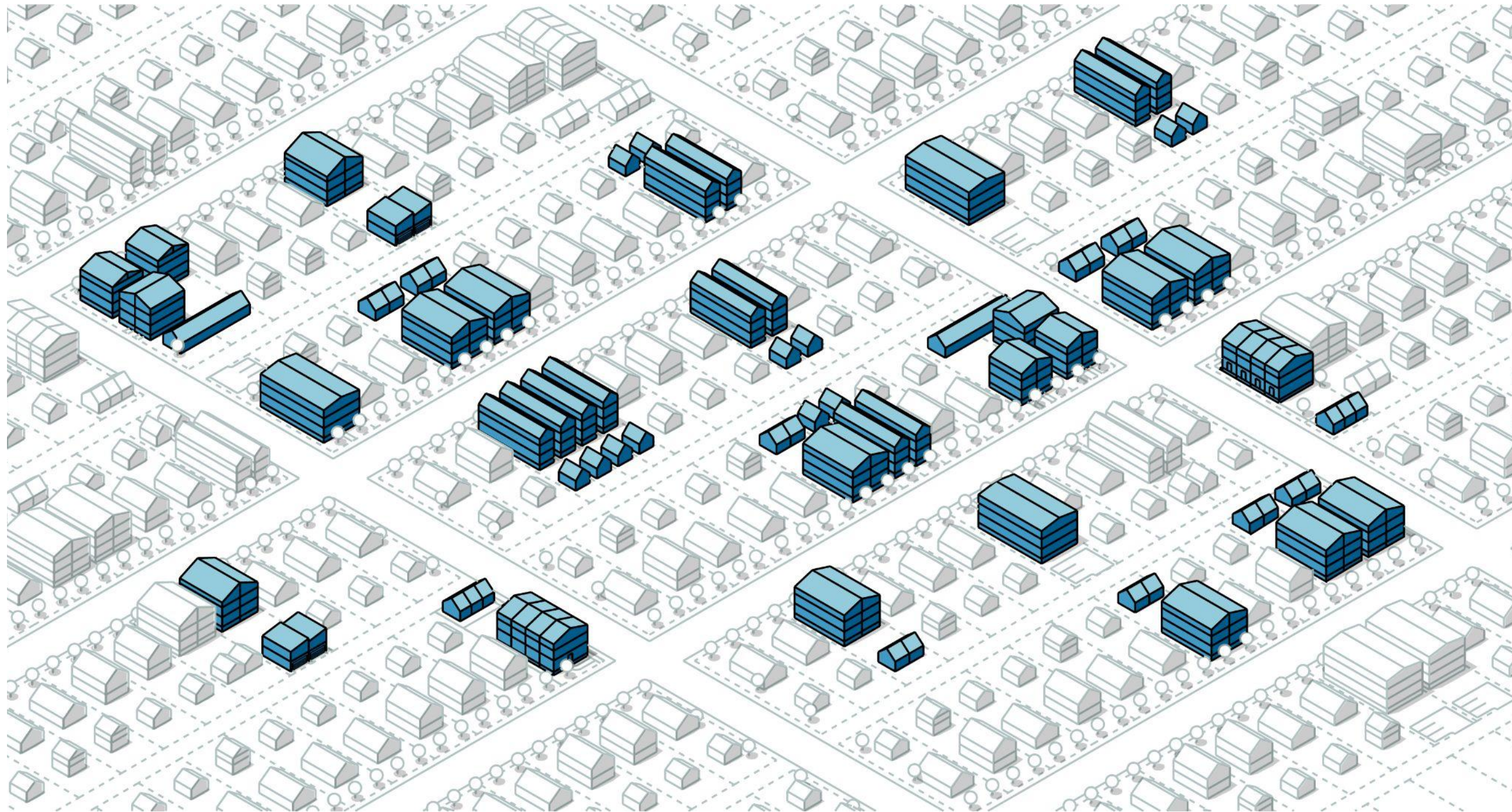
Additional Notes

- In this scenario, the building reaches maximum site coverage before it reaches the minimum rear setback.
- Apartment buildings are not currently allowed in the RF1, RF2, RF4, RMH or RF4t Zones.



RS ZONE: CONTEXT DIAGRAM

The RS Zone is intended to allow for a range of small-scale residential development up to 3 storeys in height and will be applied primarily in redeveloping areas. This zone is intended to support The City Plan's direction to enable residential infill at a variety of scales, densities and designs within all parts of the residential area. This conceptual diagram shows what incremental infill development could look like in a neighbourhood in a redeveloping area.



(RSF) Small Scale Flex Residential Zone

RSF ZONE: SINGLE DETACHED HOUSE WITH FRONT ATTACHED GARAGE

SITE CONTEXT

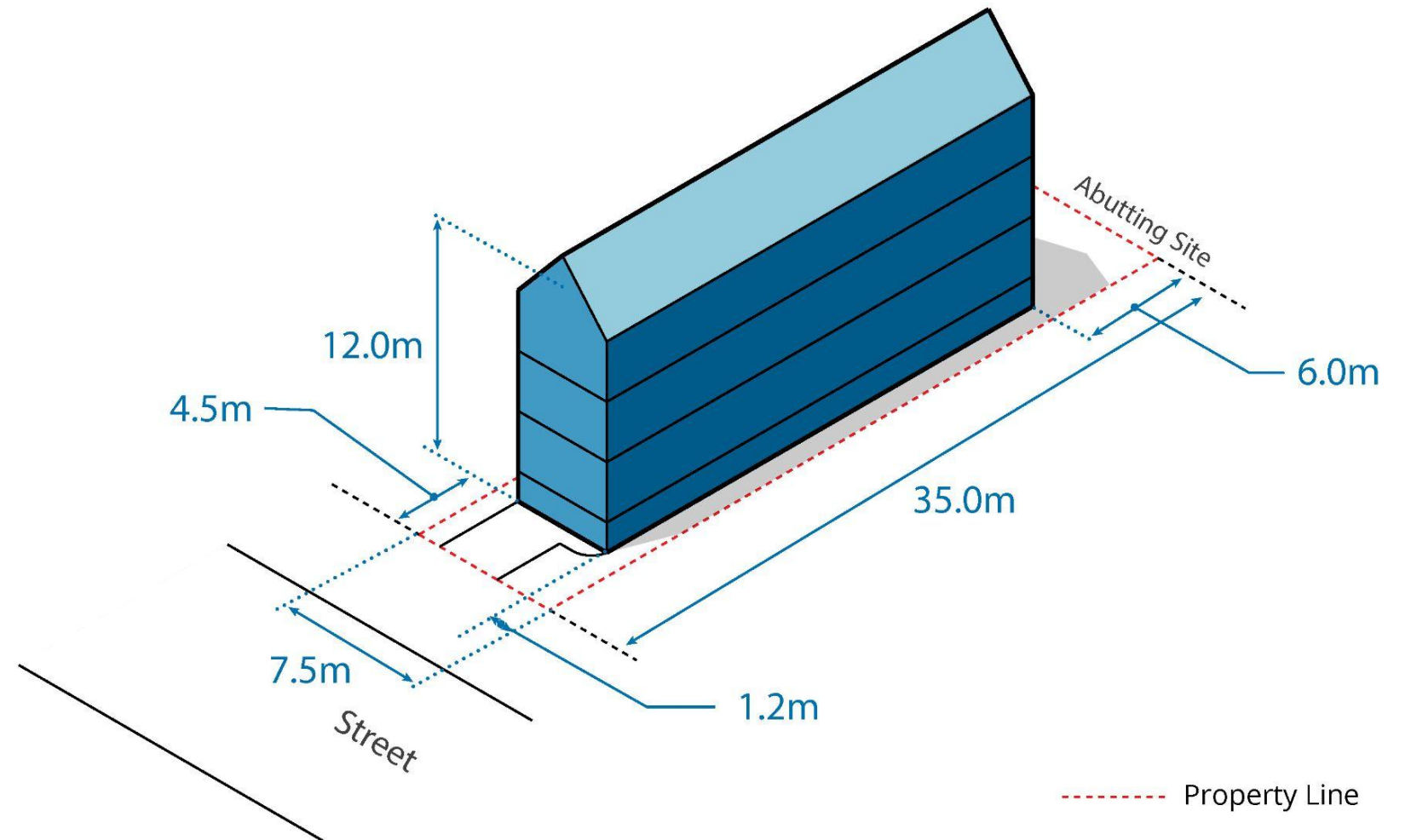
- Interior lot with no alley
- No treed boulevard

DEVELOPMENT ASSUMPTIONS

- **Site area:** 262.5 m² (no min/max)
- **Site width:** 7.5 m (min - 7.5 m)
- **Site depth:** 35 m (no min / max)
- **Site coverage:** 47.6% (max - 55%)
- **House dimensions:** 5.1 m x 24.5 m (max building length - 30 m)
- **Building height:** 12.0 m (max - 12.0 m)
- **Basement height:** 1.5 m (max - 1.8 m)
- **Floor-to-floor height:** 3.0 m (no min / max)
- **Front setback:** 4.5 m (min - 4.5 m)
- **Rear setback:** 6.0 m (min - 6.0 m)
- **Side setbacks:** 1.2 m (min - 1.2 m)

Additional Notes

- In this scenario, the maximum 55% Site Coverage cannot be reached even if the building is built out to the minimum setbacks



RSF ZONE: SINGLE DETACHED HOUSE WITH REAR ATTACHED GARAGE

SITE CONTEXT

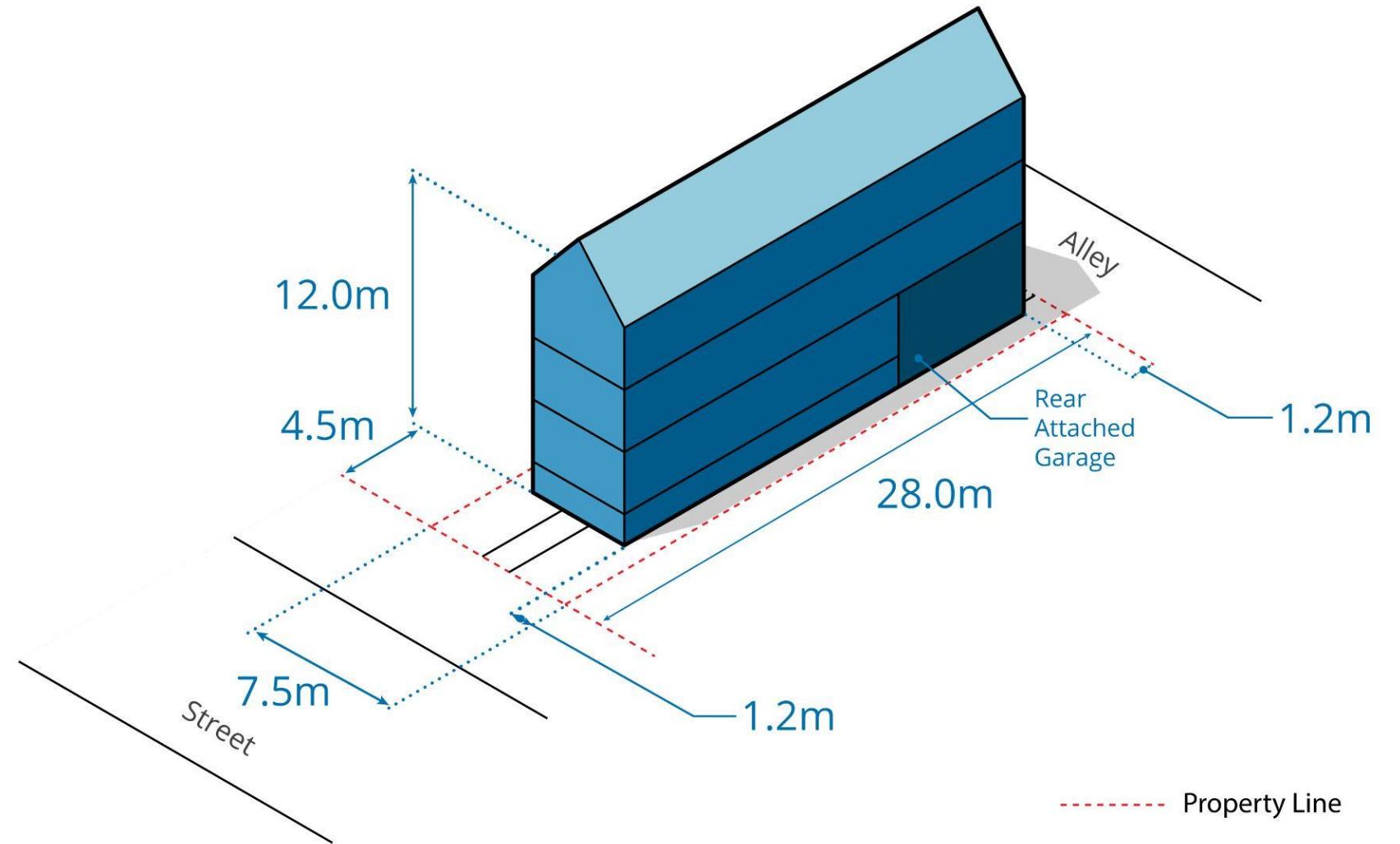
- Interior lot with alley
- No treed boulevard
- Shallow lot

DEVELOPMENT ASSUMPTIONS

- **Site area:** 210.0 m² (no min/max)
- **Site width:** 7.5 m (min - 7.0 m)
- **Site depth:** 28.0 m (no min / max)
- **Site coverage:** 54.2% (max - 55%)
- **Building dimensions:** 5.1 m x 22.3 m (max building length - 30 m)
- **Building height:** 12.0 m (max - 12.0 m)
- **Basement height:** 1.5 m (max - 1.8 m)
- **Floor-to-floor height:** 3.0 m (no min / max)
- **Front setback:** 4.5 m (min - 4.5 m)
- **Rear setback:** 1.2 m (min - 1.2 m where a building has a rear attached garage and the site is less than 30 m deep)
- **Side setbacks:** 1.2 m (min - 1.2 m)

Additional Notes

- Where a site is deeper than 30 m, the proposed minimum rear setback for buildings with rear attached garages is 6.0 m



RSF ZONE: ZERO LOT LINE SINGLE DETACHED HOUSING WITH FRONT ATTACHED GARAGE

SITE CONTEXT

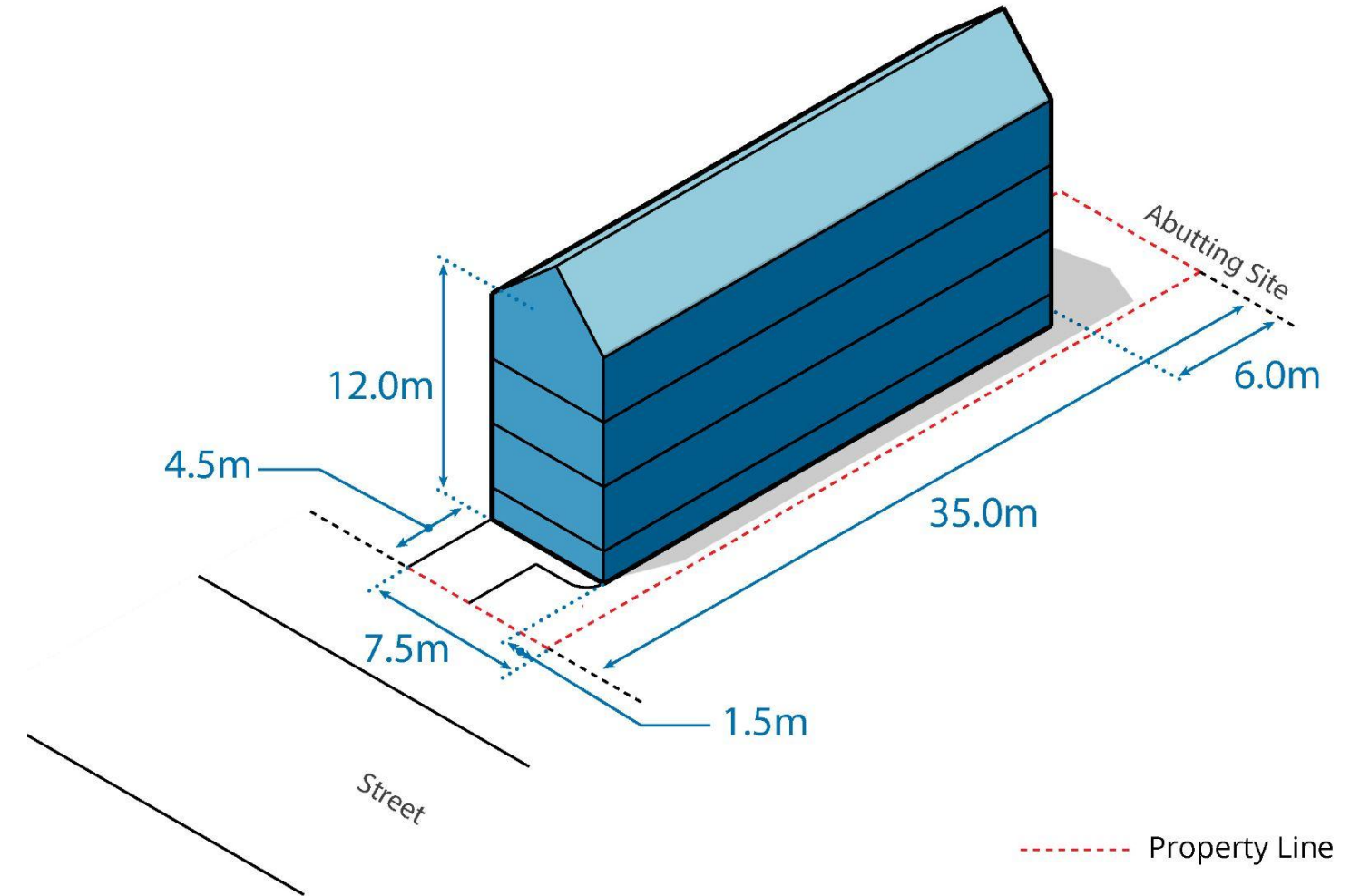
- Interior lot with no alley
- No treed boulevard

DEVELOPMENT ASSUMPTIONS

- **Site area:** 262.5 m² (no min/max)
- **Site width:** 7.5 m (min - 7.5 m)
- **Site depth:** 35.0 m (no min / max)
- **Site coverage:** 54.8 % (max - 55%)
- **Building dimensions:** 6 m x 24 m (max building length - 30 m)
- **Building height:** 12.0 m (max - 12.0 m)
- **Basement height:** 1.5 m (max - 1.8 m)
- **Floor-to-floor height:** 3.0 m (no min / max)
- **Front setback:** 4.5 m (min - 4.5 m)
- **Rear setback:** 6.5 m (min - 6.0 m)
- **Side setbacks:** 1.5 m on one side; 0 m on the other (Zero Lot Line Development)

Additional Notes

- In this scenario, the building reaches the maximum site coverage before it reaches the minimum rear setback.



RSF ZONE: SEMI-DETACHED HOUSING WITH FRONT/BACK ACCESS

SITE CONTEXT

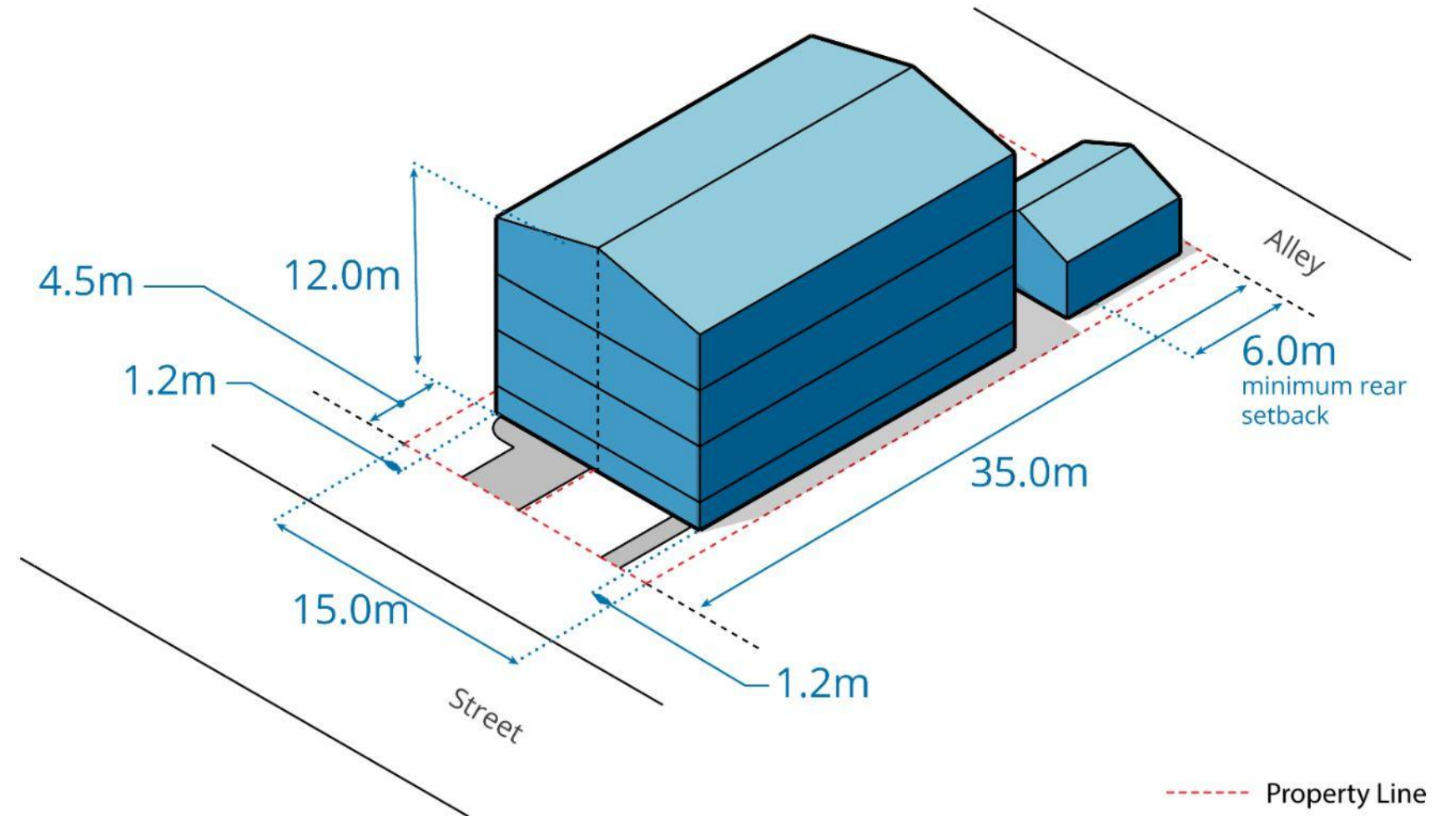
- Interior lot with alley
- No treed boulevard

DEVELOPMENT ASSUMPTIONS

- **Site area:** 525.0 m² (no minimum)
- **Site width:** 15 m (min - 7.5 m)
- **Lot width:** 7.5 m (min - 4.0 m for attached dwellings that abut an alley)
- **Site depth:** 35.0 m (no minimum)
- **Total site coverage:** 55% (max - 55%)
- **Site coverage of house:** 47% (no min / max)
- **Site coverage of garage:** 8.0% (max - 20%)
- **Semi-detached house dimensions:** 12.6 m x 19.5 m (max building length - 30.0 m)
- **Detached Garage dimensions:** 6.0 m x 7.0 m
- **Building height:** 12 m (max - 12 m)
- **Basement height:** 1.5 m (max - 1.8 m)
- **Floor-to-floor height:** 3.0 m (no min / max)
- **Detached garage height:** 4.3 m (max - 4.3 m)
- **Front setback:** 4.5 m (min - 4.5 m)
- **Rear setback:** 11.0 m (min - 6.0 m)
- **Side setbacks:** 1.2 m (min - 1.2 m)

Additional Notes

- In this scenario, the building reaches maximum site coverage before it reaches the minimum rear setback.



RSF ZONE: ROW HOUSING WITH FRONT ATTACHED GARAGES

SITE CONTEXT

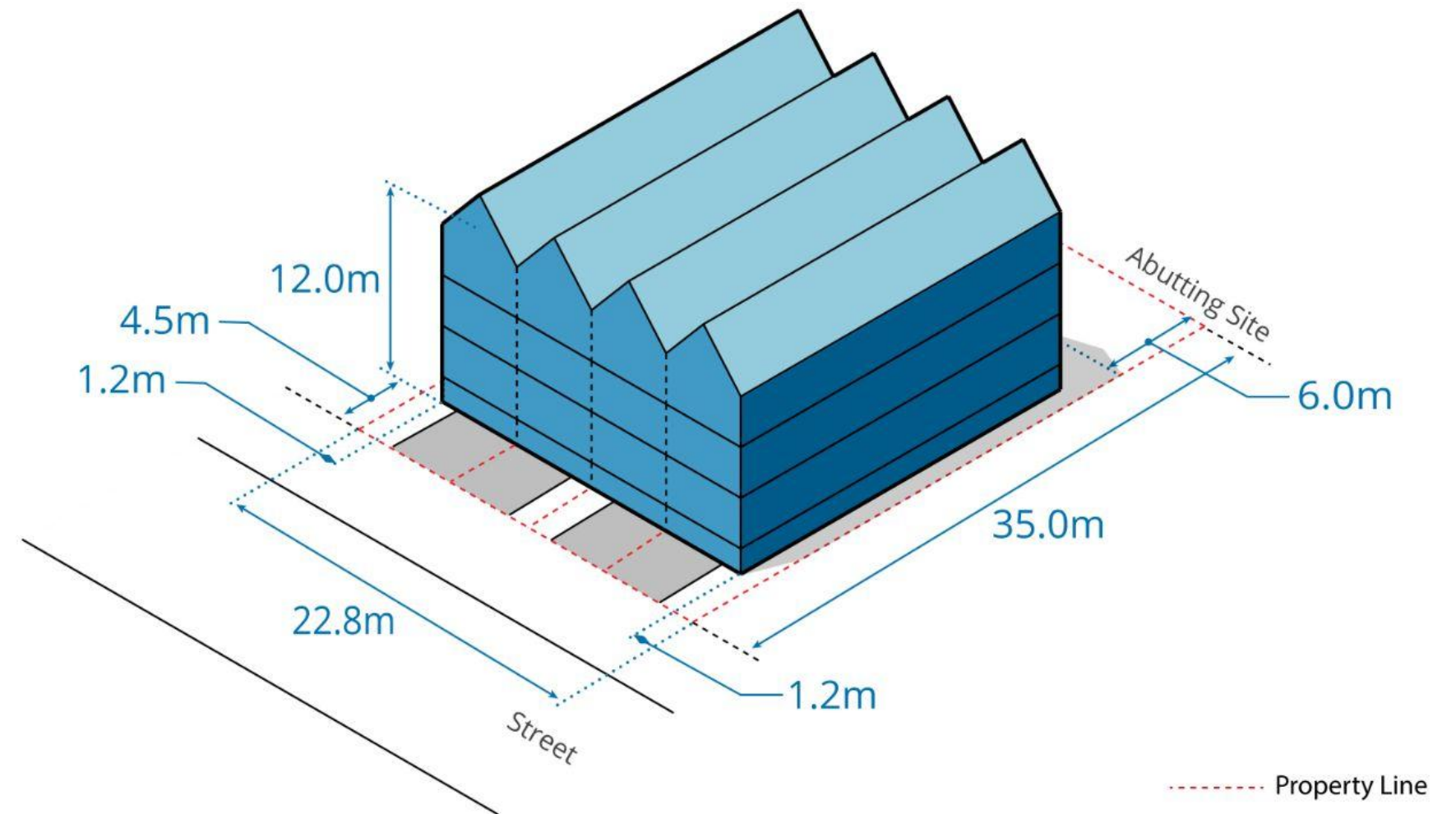
- Interior lot with no alley
- No treed boulevard

DEVELOPMENT ASSUMPTIONS

- **Site area:** 798 m² (no min/max)
- **Interior lot width:** 5.0 m (min - 5.0 m)
- **Exterior lot width:** 6.4 m (min - 5.0 m)
- **Total site width:** 22.8 m
- **Site depth:** 35.0 m (no min / max)
- **Total site coverage:** 55% (max - 55%)
- **Building dimensions:** 20.4 m x 21.5 m (max building length - 30 m)
- **Building height:** 12.0 m (max - 12.0 m)
- **Basement height:** 1.5 m (max - 1.8 m)
- **Floor-to-floor height:** 3.0 m (no min / max)
- **Front setback:** 4.5 m (min - 4.5 m)
- **Rear setback:** 13.5 m (min - 6.0 m)
- **Side setbacks:** 1.2 m (min - 1.2 m)

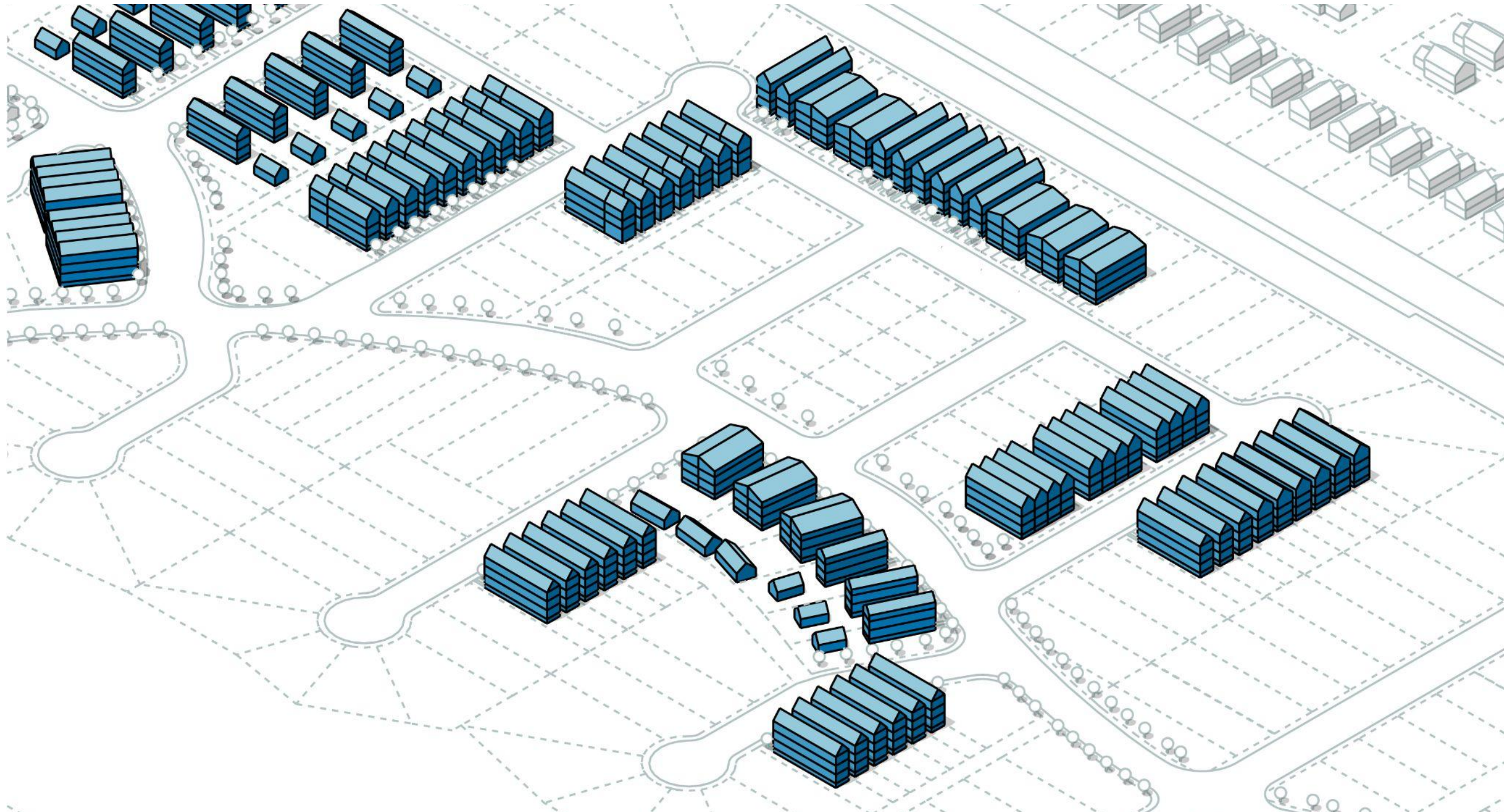
Additional Notes

- In this scenario, the building reaches maximum site coverage before it reaches the minimum rear setback.



RSF ZONE: CONTEXT DIAGRAM

The RSF Zone is intended to allow for a range of small-scale residential development up to 3 storeys in height and will be applied primarily in developing areas. This zone provides a more flexible set of building regulations that can be applied in appropriate contexts, such as new neighbourhoods and large undeveloped sites. This diagram shows a conceptual context in a newly subdivided developing area.



(RSM) Small-Medium Scale Transition Residential Zone

RSM ZONE: ROW HOUSING WITH REAR DETACHED GARAGE

SITE CONTEXT

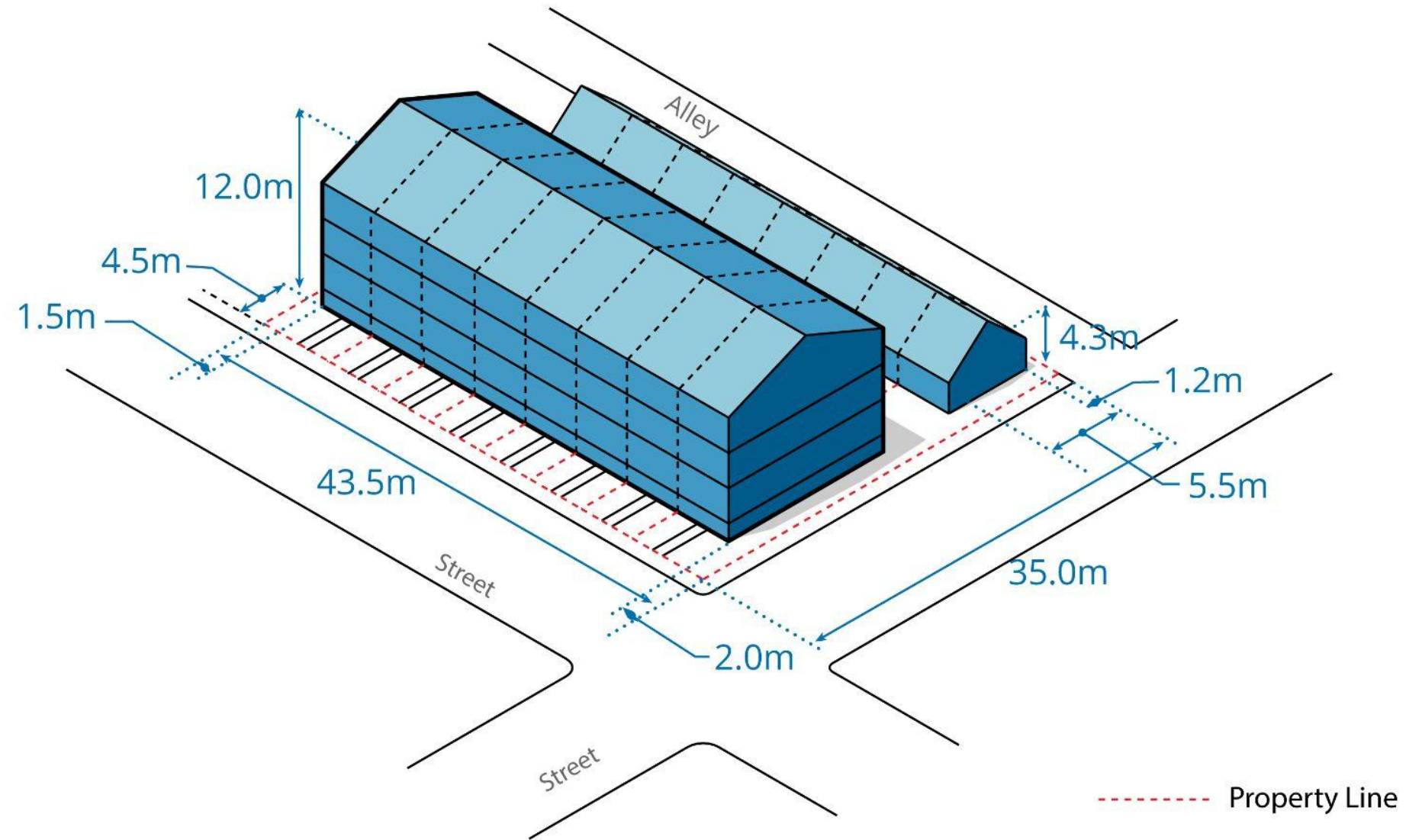
- Corner lot with alley
- No treed boulevard

DEVELOPMENT ASSUMPTIONS

- **Site area:** 1522.5 m² (no min/max)
- **Site width:** 43.5 m (min - 5.0 m)
- **Lot width:** 5.0 - 7.0 m (min - 4.0 m for attached buildings abutting an alley)
- **Site depth:** 35 m (no min / max)
- **Total site coverage:** 58.6% (max - 60%)
- **Site coverage of garages:** 19.5% (max - 20%)
- **Site coverage of row housing:** 39.1% (no min / max)
- **Row house building dimensions:** 40.0 m x 15.2 m (max - 45.0 m)
- **Row house unit dimensions:** 5.0 m x 15.2 m (min - 4.0 m width)
- **Garage dimensions:** 40.0 m x 7.6 m (max - 45.0 m width)
- **Building height:** 12.0 m (max - 12.0 m height modifier)
- **Basement height:** 1.5 m (max - 1.8 m)
- **Floor-to-floor height:** 3.0 m (no min / max)
- **Garage height:** 4.3 m (max - 4.3 m)
- **Front setback:** 4.5 m (min - 4.5 m)
- **Rear setback:** 15.3 m (min - 5.5 m)
- **Interior side setback:** 1.5 m (min - 1.2 m)
- **Flanking side setback:** 2.0 m (min - 2.0 m)

Additional Notes

- In this scenario, the building reaches maximum site coverage before it reaches the minimum rear setback.



RSM ZONE: CLUSTER HOUSING

SITE CONTEXT

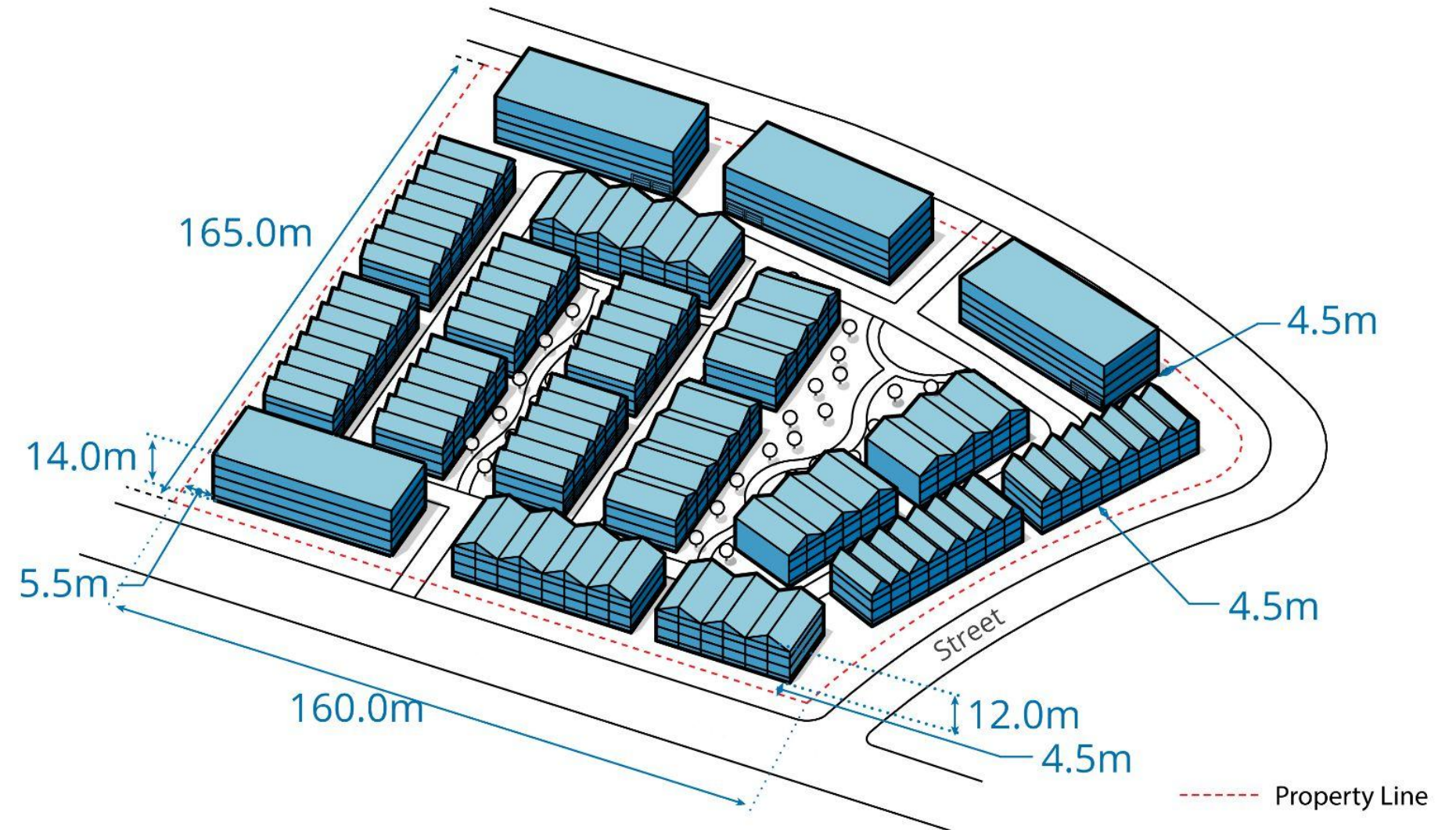
- Corner lot with alley
- Double fronting site (more than one front lot line)
- No treed boulevard

DEVELOPMENT ASSUMPTIONS

- **Site area:** 29,769.5 m² (no min/max)
- **Site width:** Approximately 160.0 m (min - 5.0 m)
- **Site depth:** Approximately 165.0 m (no min / max)
- **Total site coverage:** 42.6% (max 60%)
- **Building length:** Maximum 45.0 m
- **Building height:** 12.0 m and 14.0 m (max - 14.0 m height modifier)
- **Basement height:** 1.5 m (max - 1.8 m)
- **Floor-to-floor height:** 3.0 m (no max)
- **Front Setbacks:** 4.5 m (min 4.5 m)
- **Rear Setback:** 5.5 m (min 5.5 m)

Additional Notes

- The diagram represents a unique site condition that results in more than one front lot line.



RSM ZONE: MULTI-UNIT HOUSING

SITE CONTEXT

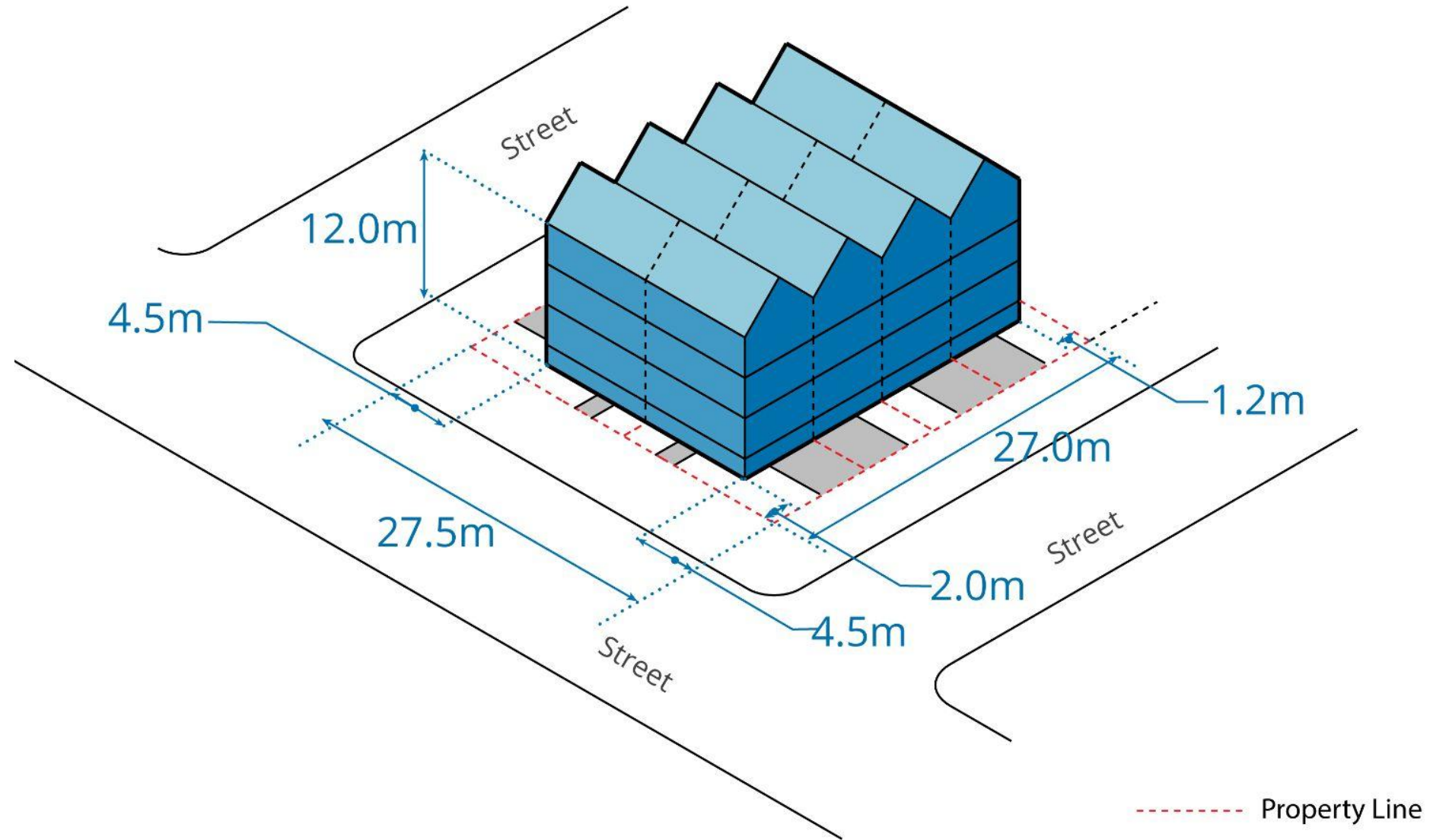
- Double fronting site (more than one front lot line)
- No treed boulevard

DEVELOPMENT ASSUMPTIONS

- **Site area:** 742.5 m² (no min/max)
- **Site width:** 27.5 m (min 5.0 m)
- **Site depth:** 27 m (no min / max)
- **Total site coverage:** 59% (max 60%)
- **Building dimensions:** 23.8 m x 18.5 m (max facade length - 45 m)
- **Height of building:** 12.0 m (max - 12.0 m height modifier)
- **Basement height:** 1.5 m (max 1.8 m)
- **Floor-to-floor height:** 3.0 m (no min / max)
- **Front setbacks:** 4.5 m from both front lot lines (min - 4.5 m)
- **Interior side setback:** 1.2 m (min - 1.2 m)
- **Flanking side setback:** 2.0 m (min - 2.0 m)

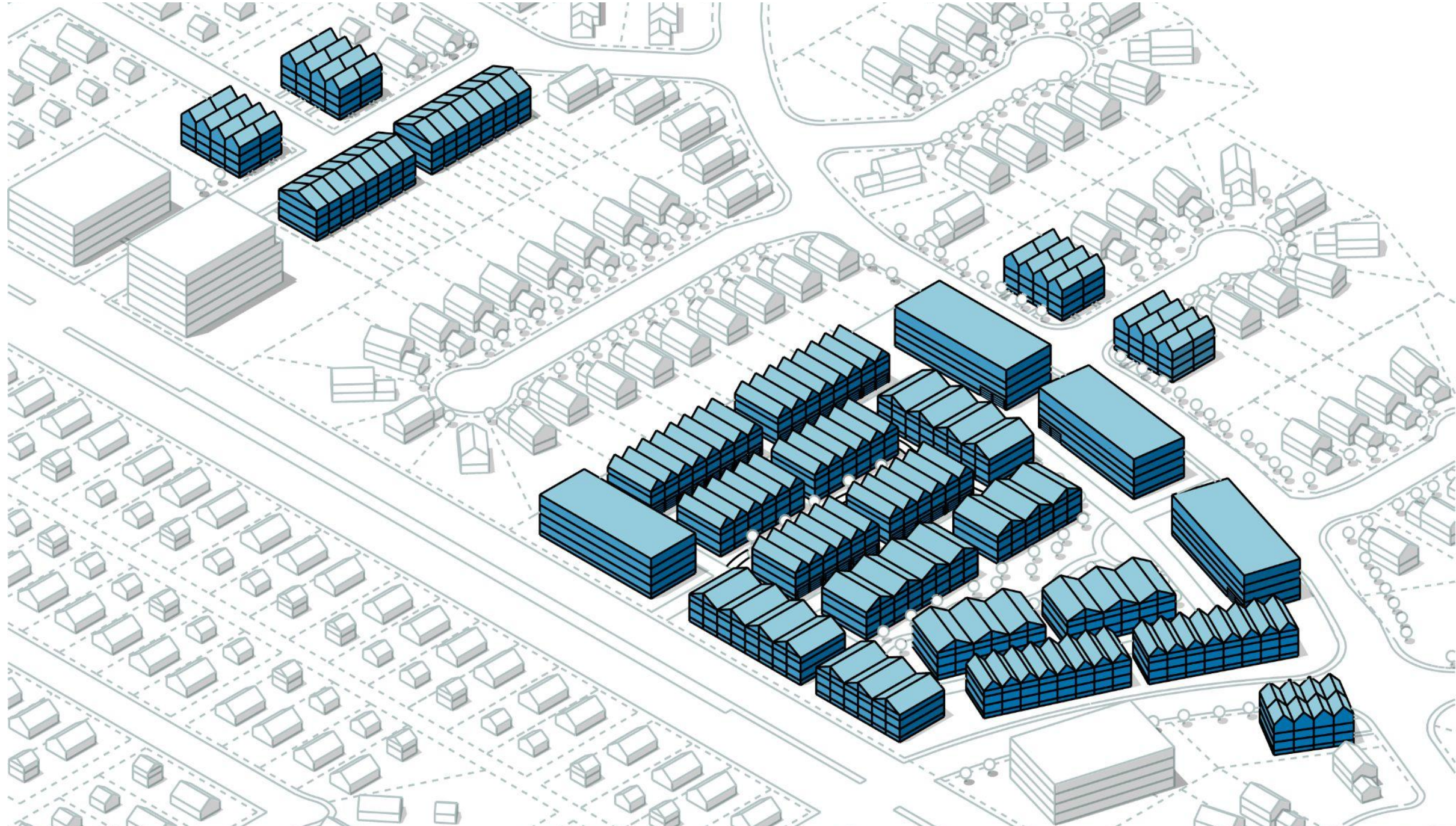
Additional Notes

- This scenario shows a front-to-back stacked row housing configuration



RSM ZONE: CONTEXT DIAGRAM

The RSM Zone is intended to allow for a range of small to medium scale residential development up to 3 or 4 storeys in height in developing and redeveloping areas. This zone can act as a transition between small-scale residential development and large-scale residential development. This diagram shows a conceptual context in a developing area.



(RM) Medium Scale Residential Zone

RM ZONE: 4 STOREY APARTMENT BUILDING

SITE CONTEXT

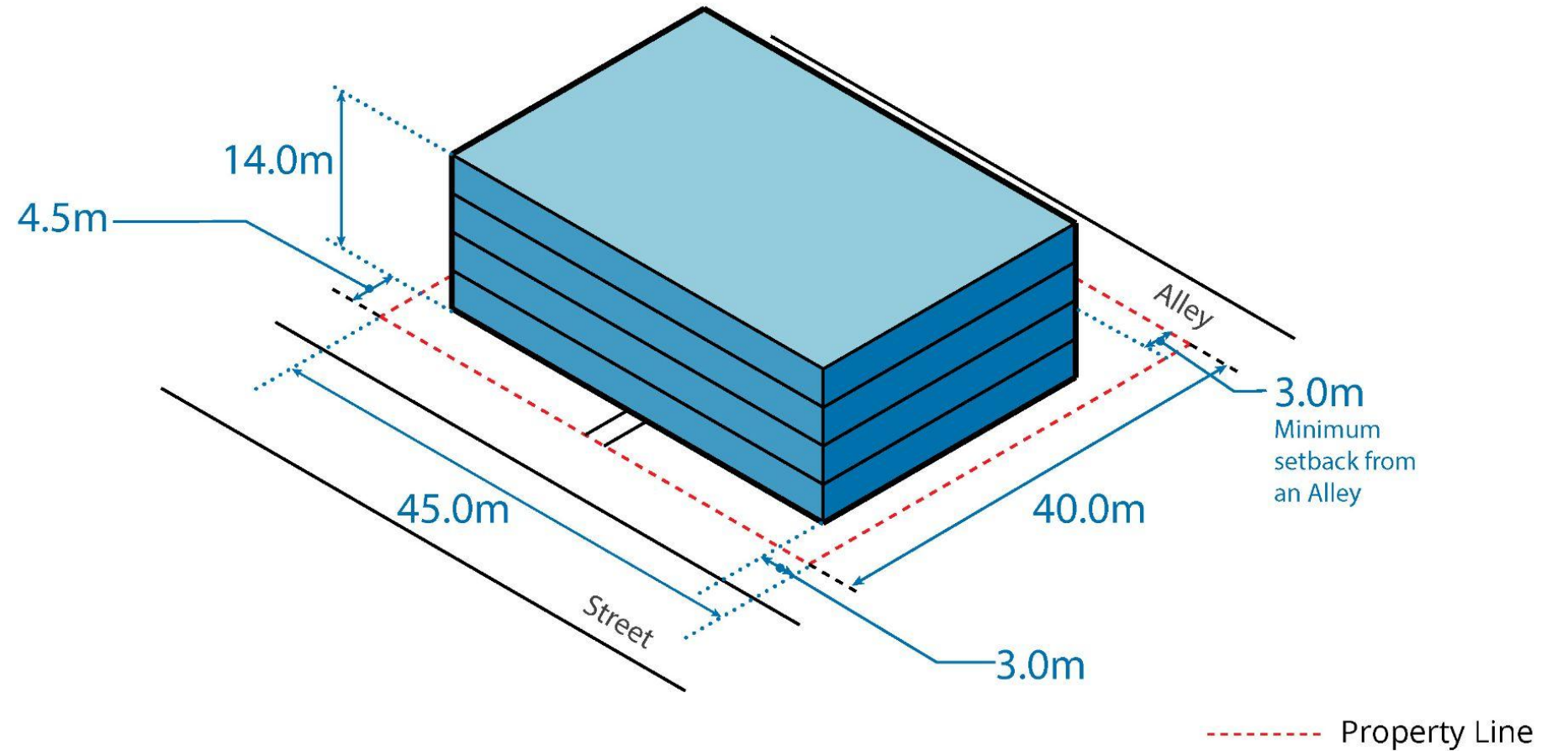
- Interior lot with alley
- No treed boulevard

DEVELOPMENT ASSUMPTIONS

- **Site area:** 1,800 m² (no min/max)
- **Site width:** 45.0 m (no min / max)
- **Site depth:** 40.0 m (no min / max)
- **Floor area ratio:** 2.3 (max - 2.3)
- **Building dimensions:** 39 m x 26.5 m (max building length - 80 m)
- **Floor-to-floor height:** 3.5 m (no min / max)
- **Height of building:** 14.0 m (max - 16.0 m height modifier)
- **Setback from a street:** 4.5 m (min - 4.5 m)
- **Setback from an alley:** 9.0 m (min - 3.0 m)
- **Setback from an abutting site:** 3.0 m (min - 3.0 m)

Additional Notes

- With the proposed development assumptions, the minimum rear setback and maximum building height cannot be reached due to the maximum 2.3 floor area ratio



RM ZONE: 6 STOREY APARTMENT BUILDING

SITE CONTEXT

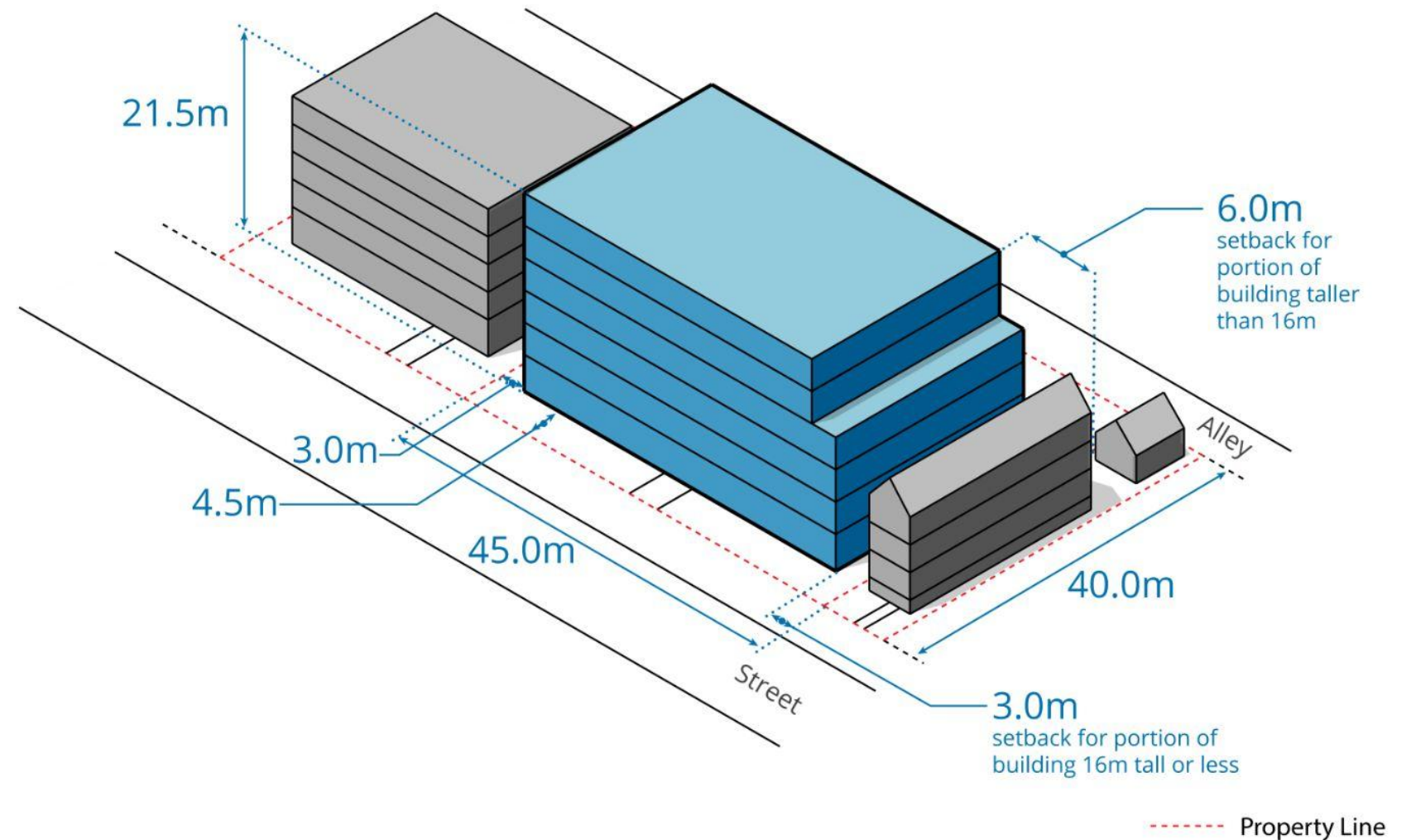
- Interior lot with alley
- No treed boulevard
- Small scale residential zone on one side, Medium scale residential zone on the other side.

DEVELOPMENT ASSUMPTIONS

- **Site area:** 1,800 m² (no min/max)
- **Site width:** 45.0 m (no min / max)
- **Site depth:** 40.0 m (no min / max)
- **Floor area ratio:** 2.97 (max - 3.0)
- **Building dimensions:** 39.0 m x 23.5 m (max 80 m)
- **Floor-to-floor height:** 3.5 m (no min / max)
- **Building height:** 21.5 m (max - 23.0 m height modifier)
- **Setback from street:** 4.5 m (min - 4.5 m)
- **Setback from alley:** 12.0 m (min - 3.0 m)
- **Setback from abutting sites:** 3.0 m and 6.0 m (min 3.0 m for portion of building 16.0 m in height or less and min 6.0 m for portion of building taller than 16.0 m)

Additional Notes

- With the proposed development assumptions, the minimum rear setback cannot be reached due to the maximum 3.0 floor area ratio



RM ZONE: 8 STOREY APARTMENT BUILDING

SITE CONTEXT

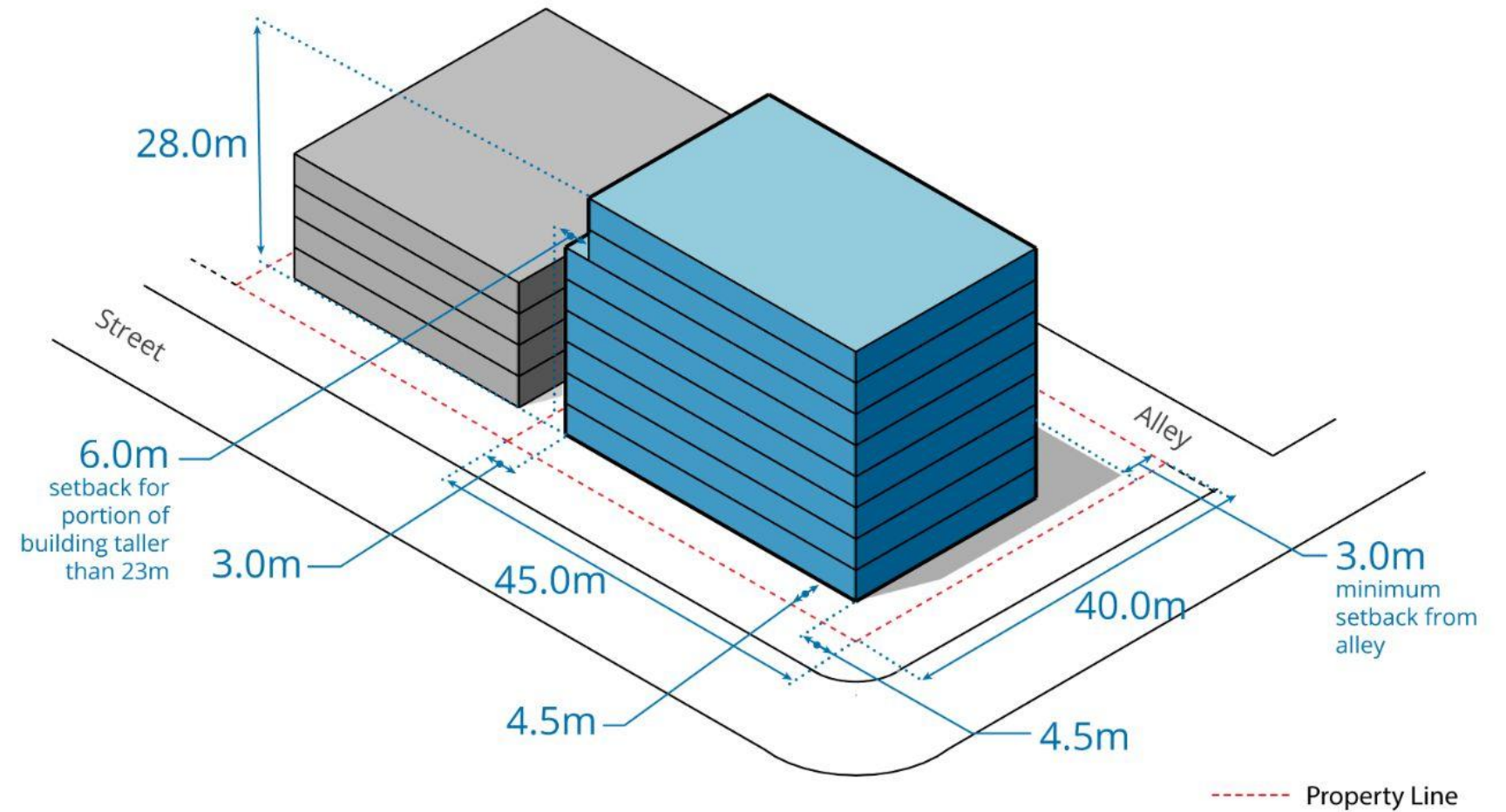
- Corner lot with alley
- No treed boulevard
- Medium scale residential zone on one side

DEVELOPMENT ASSUMPTIONS

- **Site area:** 1,800 m² (no min/max)
- **Site width:** 45.0 m (no min / max)
- **Site depth:** 40.0 m (no min / max)
- **Floor area ratio:** 3.8 (max - 3.8)
- **Building dimensions:** 37.5 m x 23.27 m (max 80 m)
- **Building height:** 28.0 m (max - 28.0 m height modifier)
- **Floor-to-floor height:** 3.5 m (no min / max)
- **Setback from street:** 4.5 m (min - 4.5 m)
- **Setback from alley:** 12.2 m (min - 3.0 m)
- **Setback from abutting site:** 3.0 m and 6.0 m (min 3.0 m; min 6.0 m for portion of building taller than 23.0 m)

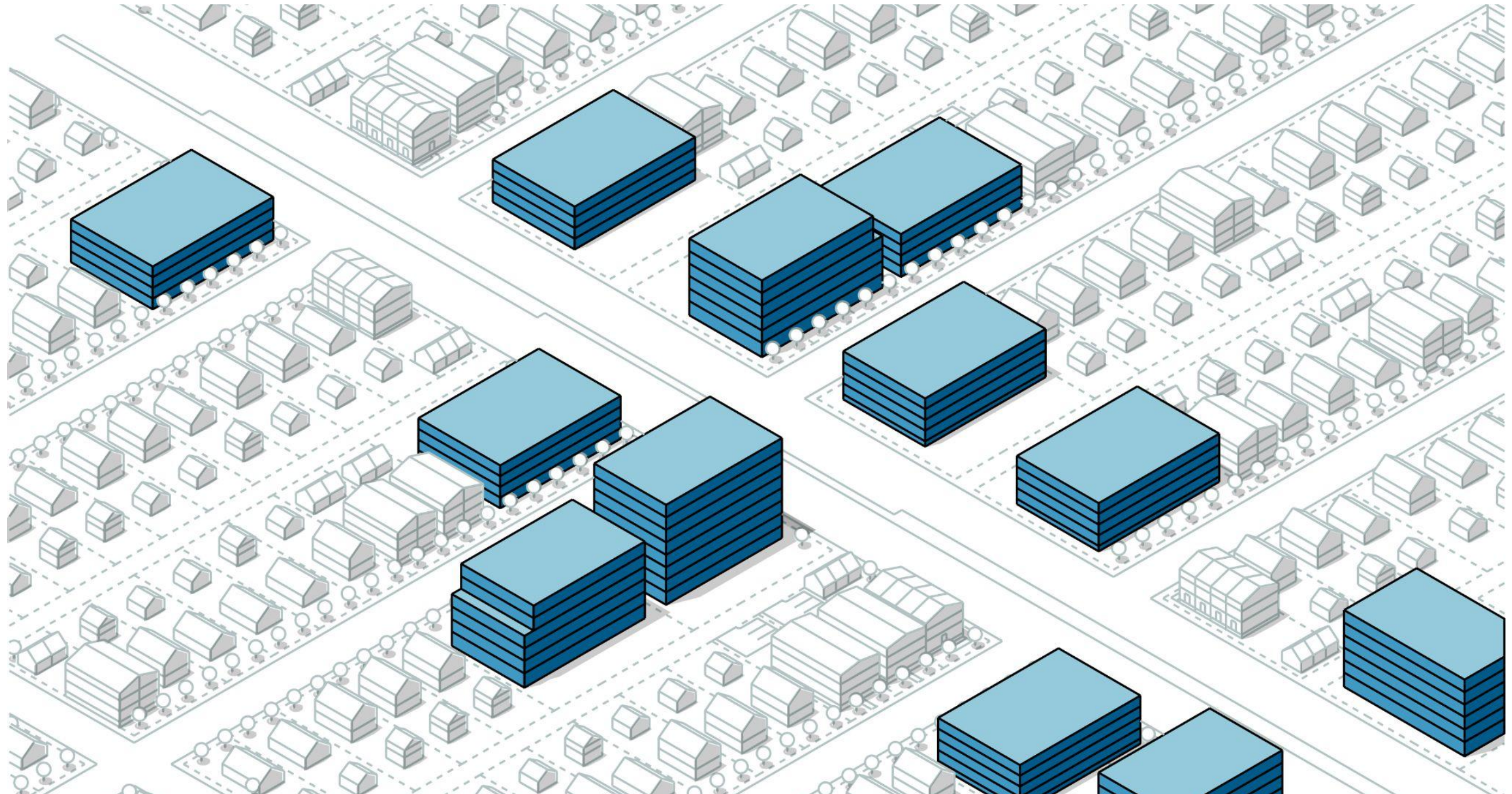
Additional Notes

- In this scenario, the building reaches the maximum height and maximum floor area ratio but does not reach the minimum rear setback.



RM ZONE: CONTEXT DIAGRAM

The RM Zone is intended to allow for low to mid-rise residential development in developing and redeveloping areas in accordance with statutory plans. This diagram shows a conceptual context in a redeveloping area.



(RL) Large Scale Residential Zone

RL ZONE: 10 STOREY APARTMENT BUILDING

SITE CONTEXT

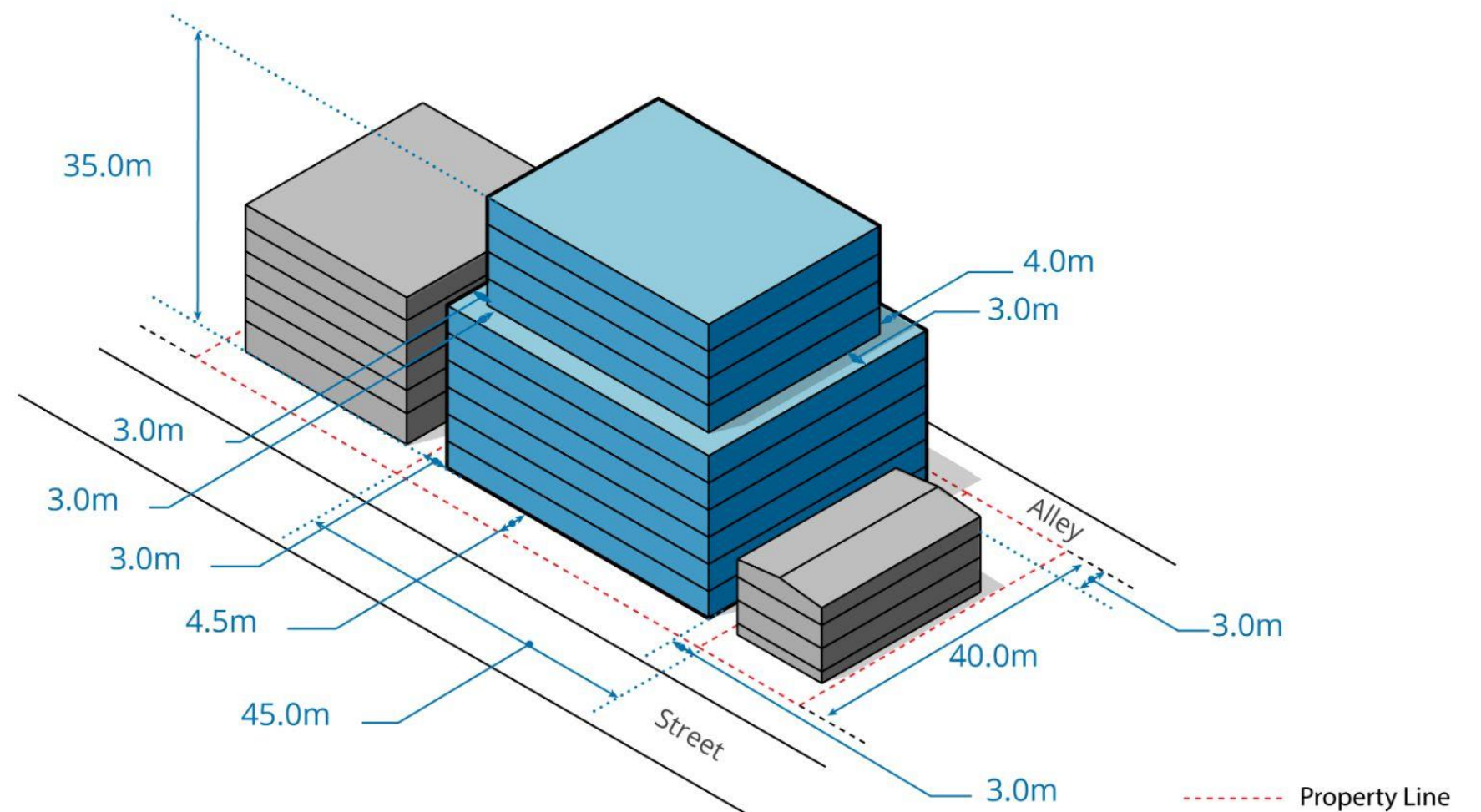
- Interior site with alley
- No treed boulevard
- Abutting 6 storey mid-rise apartment to the left
- Abutting a small scale apartment to the right

DEVELOPMENT ASSUMPTIONS

- **Site area:** 1,800 m² (no min/max)
- **Site width:** 45 m (no min/max)
- **Site depth:** 40 m (no min/max)
- **Floor area ratio:** 6.1 (max - 5.5 FAR modifier + 1.0 FAR bonus where 10% of units meet criteria for inclusive design or three-bedroom units = max 6.5 FAR)
- **Podium dimensions:** 39.0m x 32.5 m (no min/max)
- **Floor Area for Floors 1-6:** 1,267.5 m² per floor
- **Tower dimensions:** 33 m x 25.5 m (no min/max)
- **Tower floor plate (floors 7-10):** 841.5 m² (max - 850 m²)
- **Floor-to-floor height:** 3.5 m (no max)
- **Height of building:** 35 m (max - 65 m height modifier)
- **Setback from street:** 4.5 m and 7.5 m (min - 4.5 m; min - 6.0 m for portion of building 23.0 m in height or greater)
- **Setback from alley:** 3.0 m (min - 3.0 m)
- **Setbacks from abutting sites:** 3.0 m and 6.0 m (min - 3.0 m; min - 6.0 m for portions of building taller than 23.0 m)

Additional Notes

- If the tower floor plate, for portions of the building taller than 23.0 m in height, was reduced to 819 m², it would be possible to develop an 11 storey building on a site this size.



RL ZONE: 20 STOREY HIGH-RISE BUILDING

SITE CONTEXT

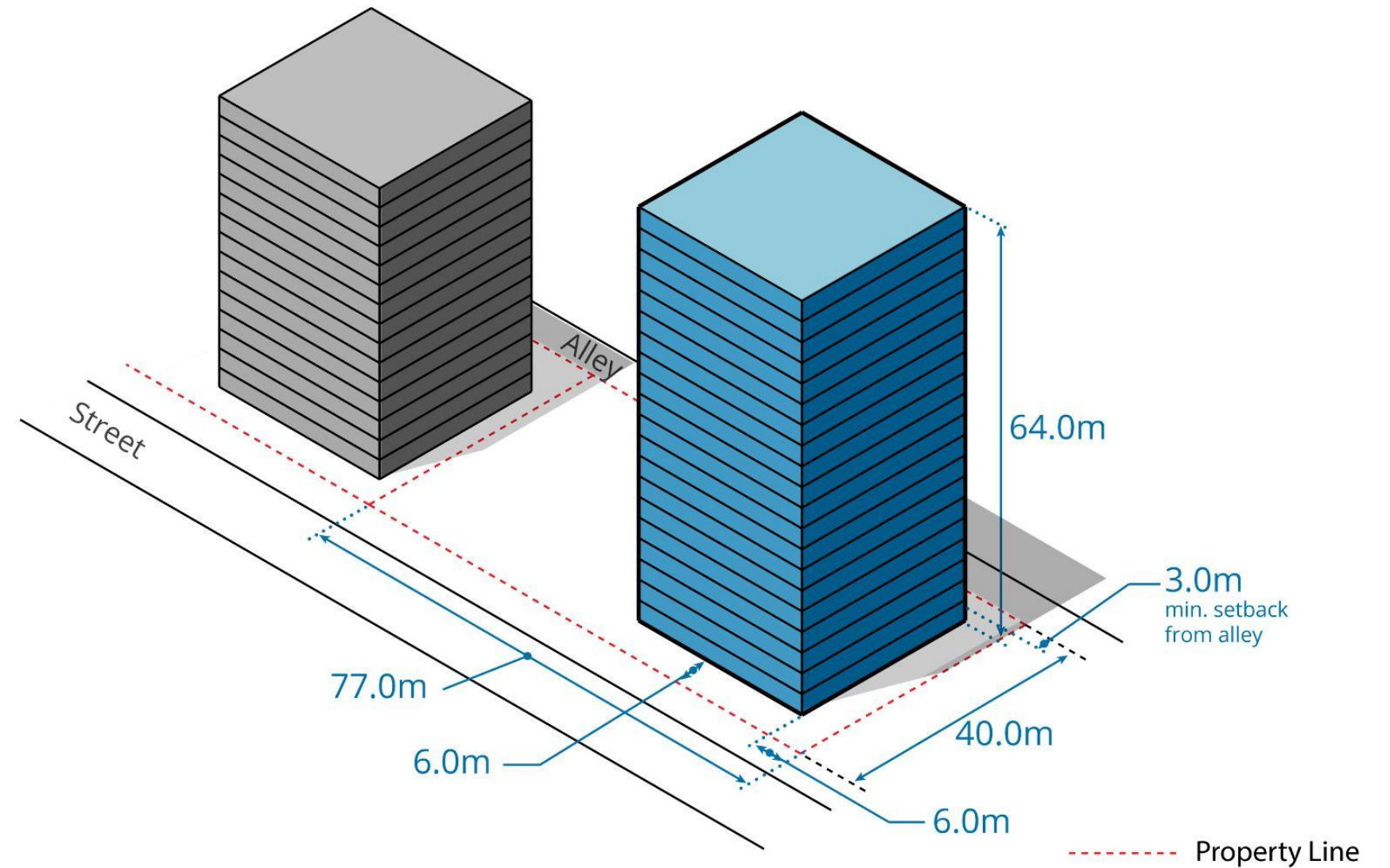
- Interior site with alley
- No treed boulevard
- Abutting another tower site

DEVELOPMENT ASSUMPTIONS

- **Site area:** 3,080 m² (no min/max)
- **Site width:** 77 m (no min/max)
- **Site depth:** 40 m (no min/max)
- **Floor area ratio:** 5.5 (max - 5.5 FAR modifier)
- **Tower dimensions:** 29.15 x 29.15 m (no min/max)
- **Tower floorplate:** 850 m² (max - 850 m²)
- **Floor-to-floor height:** 3.2 m (no min/max)
- **Height of building:** 64 m (max - 65 m height modifier)
- **Setback from street:** 6.0 m (min - 6.0 m for towers)
- **Setback from alley:** 4.85 m (min - 3.0 m)
- **Setbacks from abutting sites:** 41.85 m (min - 6.0 m for portions of building taller than 23.0 m)
- **Tower setback from tower on abutting site:** 47.8 m (min - 25 m, measured from portion of tower greater than 23.0 m in height)

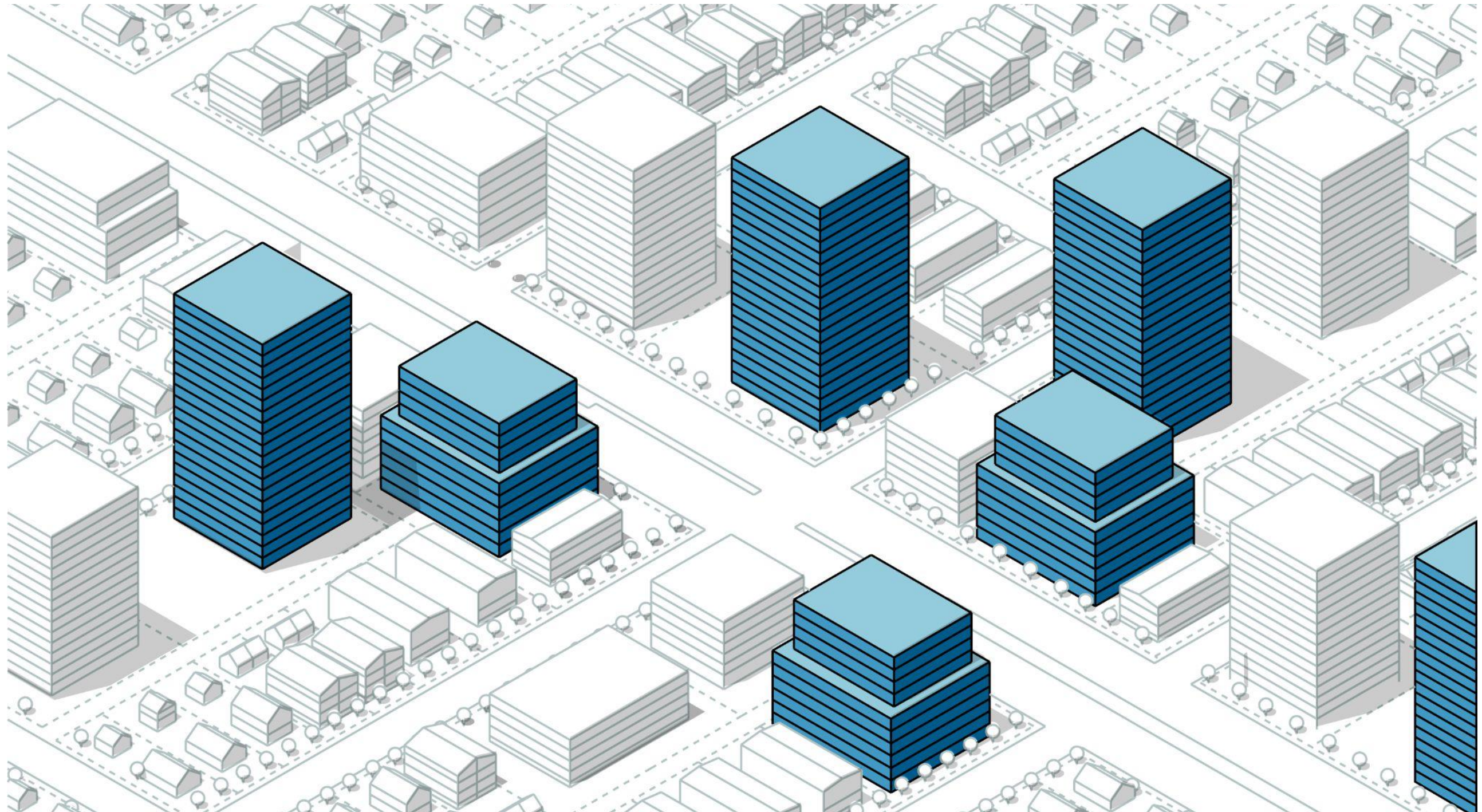
Additional Notes

- Setbacks shown in the model are larger than the minimum to illustrate potential for a 20-storey slab-style high-rise building
- In order for this 20 storey tower to achieve a 64 m height, with a tower floor plate of 850 m², the site area needs to be at least 3,080 m²



RL ZONE: CONTEXT DIAGRAM

The RL Zone is intended to support high-rise residential development in developing and redeveloping areas within the city centre node, major nodes, district nodes, or primary corridors identified in The City Plan and District Plans. For example, this zone could be found in the Oliver neighbourhood which is located within the city centre node. This diagram shows a conceptual context in a redeveloping area.



Glossary

Backyard housing: A housing arrangement consisting of one or more dwellings that are located wholly within the rear yard of a residential site.

Cluster housing: A housing arrangement consisting of two or more residential principal buildings on a site, including common property, such as communal parking areas, driveways, private roadways, amenity areas or maintenance areas that are shared. This does not include backyard housing.

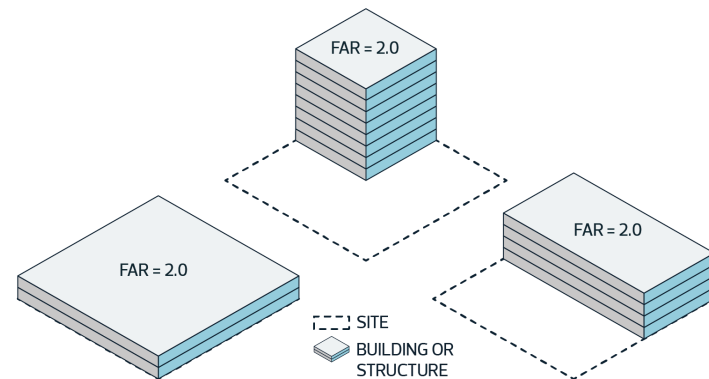
Developing Area: Areas primarily outside of Anthony Henday Drive within city limits that have an approved statutory plan. For a map of the developing area, please refer to [The City Plan](#).

Facade: Any exterior outward face of a building measured from corner to corner.

Floor Area: The area of a building or structure, contained within the outside surface of the exterior and basement walls. Where a wall contains windows, the glazing line of windows may be used.

Floor Area Ratio: A building or structure's Floor Area in relation to the total area of the site the building is located on, excluding:

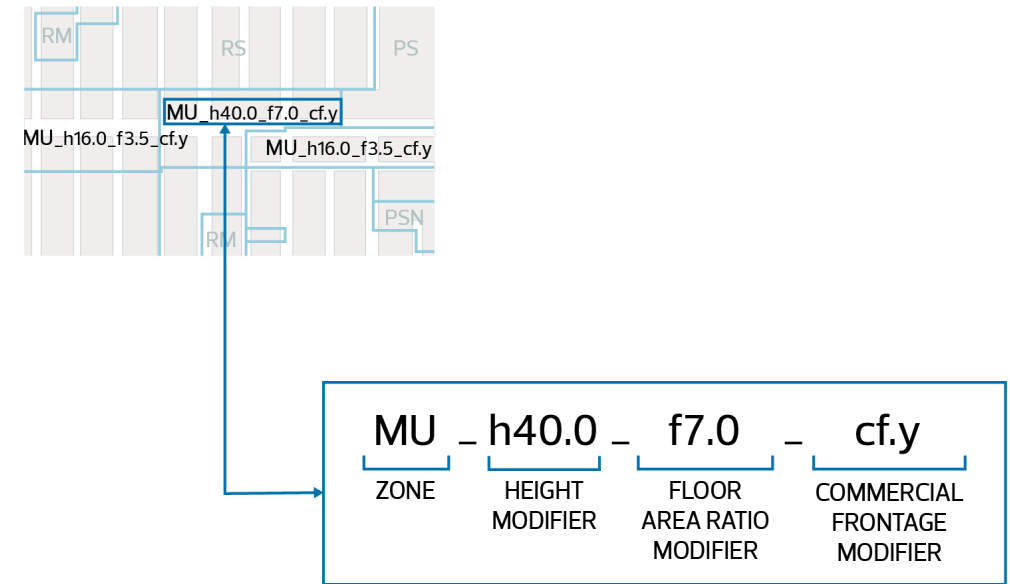
- basement areas used exclusively for storage or service to the building, or as a secondary suite;
- underground parking;
- floor area devoted to mechanical or electrical equipment servicing the development; and
- indoor common amenity area.



Floor Plate: The floor area of a storey.

Height: A vertical distance between two points. The height of a building is measured from grade level to the midpoint of the highest roof or, for flat roofs, to the midpoint of the highest parapet.

Modifier: A label on the Zoning Map that indicates the application of specific development regulations. Typical examples include Height Modifier, Floor Area Ratio Modifier, and Commercial Frontage Modifier.



Multi-unit housing: A building that contains:

- One or more dwellings combined with at least one non-residential use; or
- Any number of dwellings that do not conform to any other definition in the Zoning Bylaw.

Typical examples include apartments, stacked-row housing, and housing in a mixed-use building.

Podium: The base of a tower, not exceeding 6 Storeys in Height which occupies a greater floor plate than the rest of the tower.

Redeveloping Area: Development within existing residential and non-residential areas that have completed the cycle of growth, build out and maturation, and are changing to accommodate compact, mixed use development in support of city building outcomes. These areas are located primarily inside of Anthony Henday Drive. For a map of the redeveloping area, please refer to [The City Plan](#).

Row housing: A building that contains three or more principal dwellings joined at the side with none of the dwellings being placed over another. Each principal dwelling has separate, individual and direct access to ground level.

Semi-detached housing: A building that contains two principal dwellings that share, in whole or in part, a common vertical party wall. Each dwelling has individual, separate and direct access to ground level. This does not include duplex housing.

Setback: The distance that a development, or a specified portion of it, must be from a property line.

- **Front Setback:** The distance that a development must be from the front property line.
- **Rear Setback:** The distance that a development must be from the rear property line.
- **Side Setback/Interior Side Setback/Flanking Side Setback:** The distance that a development must be from the side/interior side/flanking side property line.
- **Setback from street:** The distance that a development must be from the property line abutting a street.
- **Setback from alley:** The distance that a development must be from the property line abutting an alley.
- **Setback from abutting site:** The distance that a development must be from the property line abutting another site.

Single detached housing: A building that contains one principal dwelling that has direct access to ground level.

Site: An area of land consisting of one or more abutting lots.

Site coverage: The total area on a site covered by buildings and structures that are 1.8 m or more in height. This includes cantilevers, but does not include steps, eaves or other similar projections.

Site depth: The distance between the front lot line and the rear lot line.

Site width: The distance between the side boundaries of the site.