The background of the slide is a detailed isometric illustration of a city scene. It includes various elements such as buildings, a train on tracks, a bicycle, a coffee cup, a desk with a chair, a construction crane, and various street-level objects. The style is clean and modern, using a color palette of blues, yellows, and greys.

Draft Zoning Bylaw: Commercial and Mixed Use Zone Modelling (May 2023)

zoningbylawrenewal@edmonton.ca
edmonton.ca/zoningbylawrenewal

Table Of Contents

How to Use this Document.....	3
(MU) Mixed Use Zone.....	4
MU ZONE: 4 STOREY BUILDING.....	4
MU ZONE: 6 STOREY BUILDING.....	5
MU ZONE: TOWER AND PODIUM CONFIGURATION.....	6
MU ZONE: CONTEXT DIAGRAM.....	8
(MUN) Neighbourhood Mixed Use Zone.....	9
MUN ZONE: 4 STOREY BUILDING.....	9
MUN ZONE: 4 STOREY BUILDING WITH GROUND FLOOR RESIDENTIAL.....	10
MUN ZONE: CONTEXT DIAGRAM.....	11
(CN) Neighbourhood Commercial Zone.....	12
CN ZONE: SMALL SHOPPING CENTRE.....	12
CN ZONE: 3 STOREY COMMERCIAL MAIN STREET BUILDING.....	13
CN ZONE: CONTEXT DIAGRAM.....	14
(CG) General Commercial Zone.....	15
CG ZONE: COMMERCIAL SHOPPING CENTRE.....	15
CG ZONE: CONTEXT DIAGRAM.....	16
(CB) Business Commercial Zone.....	17
CB ZONE: 4 STOREY COMMERCIAL BUILDINGS AND 6 STOREY HOTEL WITH PARKING IN FRONT.....	17
CB ZONE: CONTEXT DIAGRAM.....	18
(BE) Business Employment Zone.....	19
BE ZONE: 4 STOREY COMMERCIAL/LIGHT INDUSTRIAL BUILDING WITH PARKING IN FRONT.....	19
BE ZONE: CONTEXT DIAGRAM.....	20
Glossary.....	21

How to Use this Document

This document was prepared to help visualize the development potential under each commercial and mixed use zone of the draft Zoning Bylaw. This document has been prepared for illustrative purposes and is intended to assist readers in understanding:

- the purpose of each zone;
- the approximate scale of development allowed under each zone; and
- the context in which each zone could potentially be applied.

This document contains the following information:

Scenario Models

Each zone features a sample of one or more scenario models to highlight some of the different development opportunities under each zone. Each scenario outlines the development assumptions under which the model was made. Text in parentheses "(e.g. min: 10.0 m)" indicates the minimum or maximum regulation requirements proposed in the zone. Text outside the parentheses indicates the actual measurement represented in the diagram.

Context Diagrams

Context diagrams have been provided for each zone to help conceptualize where these zones could potentially be applied.

Glossary

A glossary is provided at the end of this document to explain terms used in the diagrams.

Note: *This document reflects the version of the draft Zoning Bylaw shared for public feedback in May 2023. The draft Zoning Bylaw is subject to change as further refinements are made through additional public engagement.*

(MU) Mixed Use Zone

MU ZONE: 4 STOREY BUILDING

SITE CONTEXT

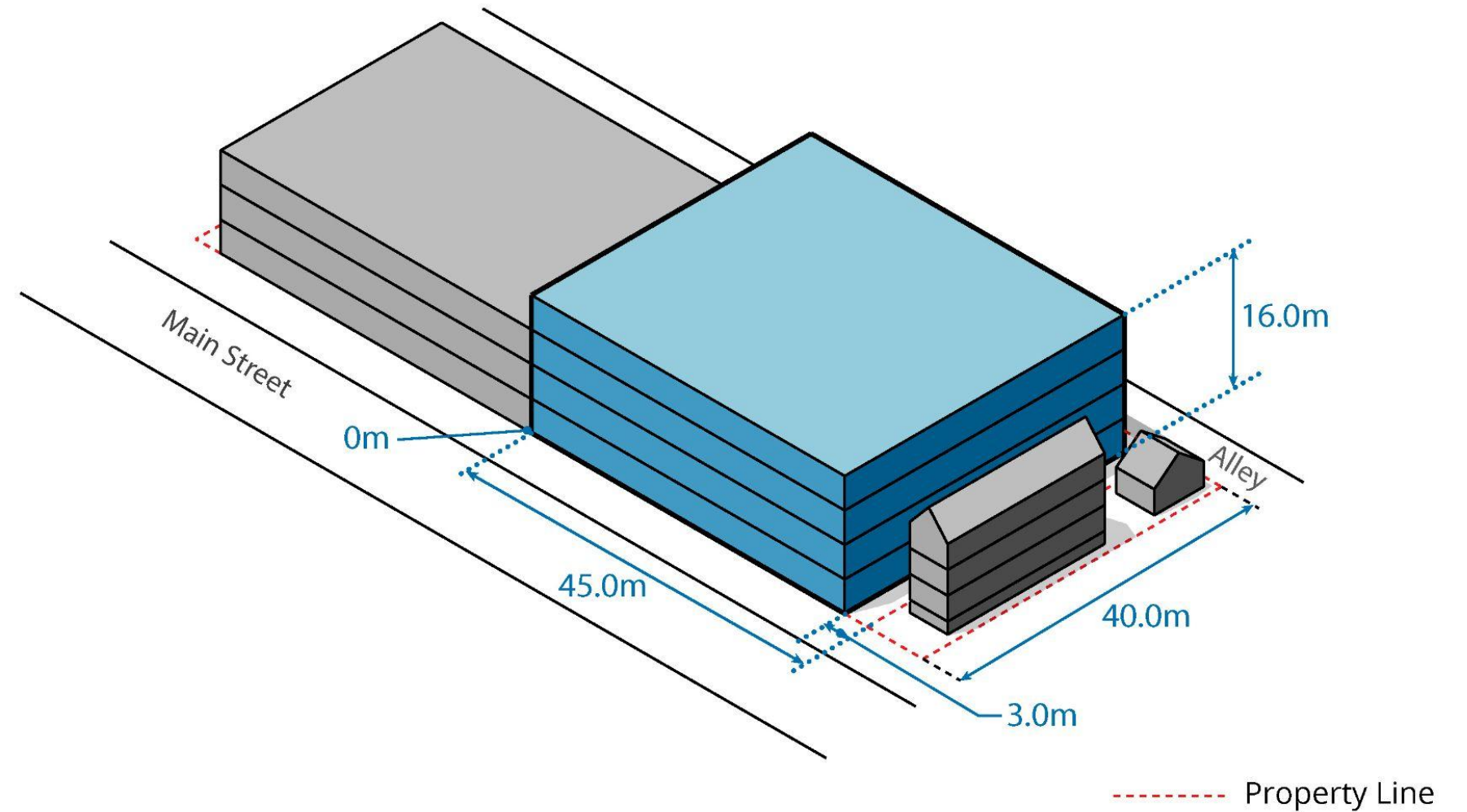
- Commercial Frontage Modifier
- Internal site with alley access
- No treed boulevard
- Abutting public sidewalk is 4.7 m wide
- Abutting alley is 6.0 m wide
- Abutting main street commercial to the left
- Abutting a site in a residential zone with a maximum height of 12.0 m or less to the right

DEVELOPMENT ASSUMPTIONS

- **Site area:** 1,800 m² (no min/max)
- **Site width:** 45.0 m (no min/max)
- **Site depth:** 40.0 m (no min/max)
- **Non-residential floor area ratio:** 3.5 (max - 3.5 FAR modifier)
- **Building dimensions:** 42.0 m x 37.5 m
- **Ground floor height:** 4.0 m (min - 4.0 m)
- **Floor-to-floor height above ground floor:** 4.0 m (no min/max)
- **Height of building:** 16.0 m (max - 16 m height modifier)
- **Setback from street:** 0 m (min - 0 m; max - 3.0 m)
- **Setback from alley:** 2.5 m (min - 0 m)
- **Setback from abutting site (left):** 0 m
(min - 0 m for portion of building 23.0 m in height or less)
- **Setback from abutting site (right):** 3.0 m
(min - 3 m for portion of building 16.0 m in height or less)

Additional Notes

- The setback from the alley is larger than the minimum in order to show a commercial building built out to the maximum floor area ratio and maximum height



MU ZONE: 6 STOREY BUILDING

SITE CONTEXT

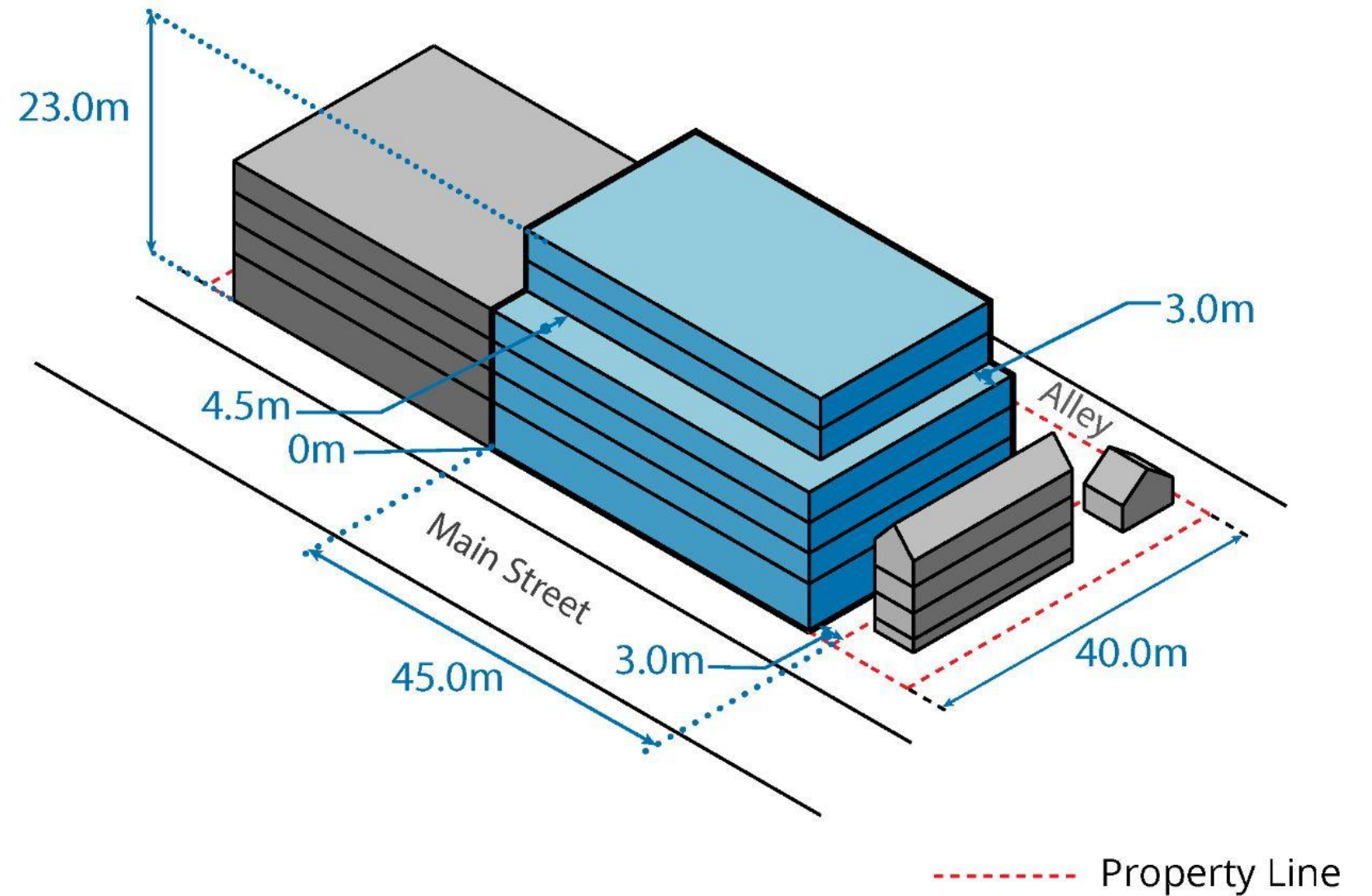
- Commercial Frontage Modifier
- Internal site with alley access
- No treed boulevard
- Abutting public sidewalk is 4.7 m wide
- Abutting alley is 6.0 m wide
- Abutting main street commercial to the left
- Abutting a site in a residential zone with a maximum height of 12.0 m or less to the right

DEVELOPMENT ASSUMPTIONS

- **Site area:** 1,800 m² (no min/max)
- **Site width:** 45 m (no min/max)
- **Site depth:** 40 m (no min/max)
- **Floor area ratio:** 3.5 (max - 3.5 FAR modifier)
- **Building dimensions:** 42.0 m x 27.0 m
- **Ground floor height:** 5.5 m (min - 4.0 m)
- **Floor-to-floor height above ground floor:** 3.5 m (no min/max)
- **Height of building:** 23 m (max - 23 m height modifier)
- **Setback from street:** 0 m and 4.5 m
(min - 0 m; max - 3.0 m; min - 4.5 m for portion of building taller than 16.0 m)
- **Setback from alley:** 13.0 m (min - 0 m)
- **Setback from abutting site (left):** 0 m
(min - 0 m for portion of building 23.0 m in height or less)
- **Setback from abutting site (right):** 3.0 m and 6.0 m
(min - 3.0 m; min - 6.0 m for portion of building taller than 16.0 m)

Additional Notes

- Floor area ratio and height modifiers were selected to illustrate setbacks and massing for a 6 storey building with a floor area ratio of 3.5. Alternatively, a four storey building with a floor area ratio of 3.5 could be built closer to the rear lot line.



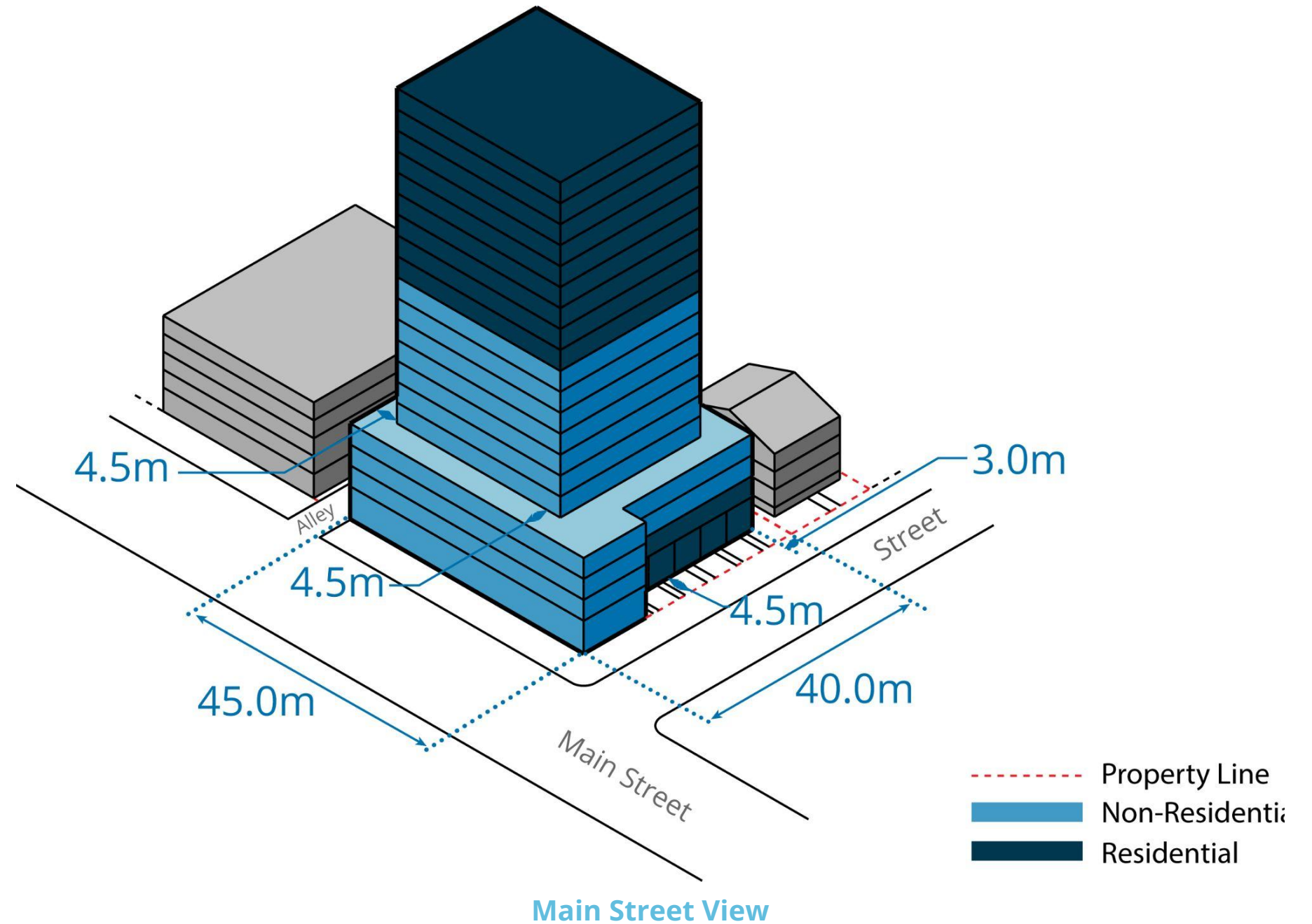
MU ZONE: TOWER AND PODIUM CONFIGURATION

SITE CONTEXT

- Commercial Frontage Modifier
- Corner site with alley access
- No treed boulevard on main street or flanking street (local road)
- Abutting public sidewalk is 4.7 m wide
- Abutting alley is 6.0 m wide
- Abuts a site in a residential zone with a maximum height of 12.0 m or less (along the flanking street)

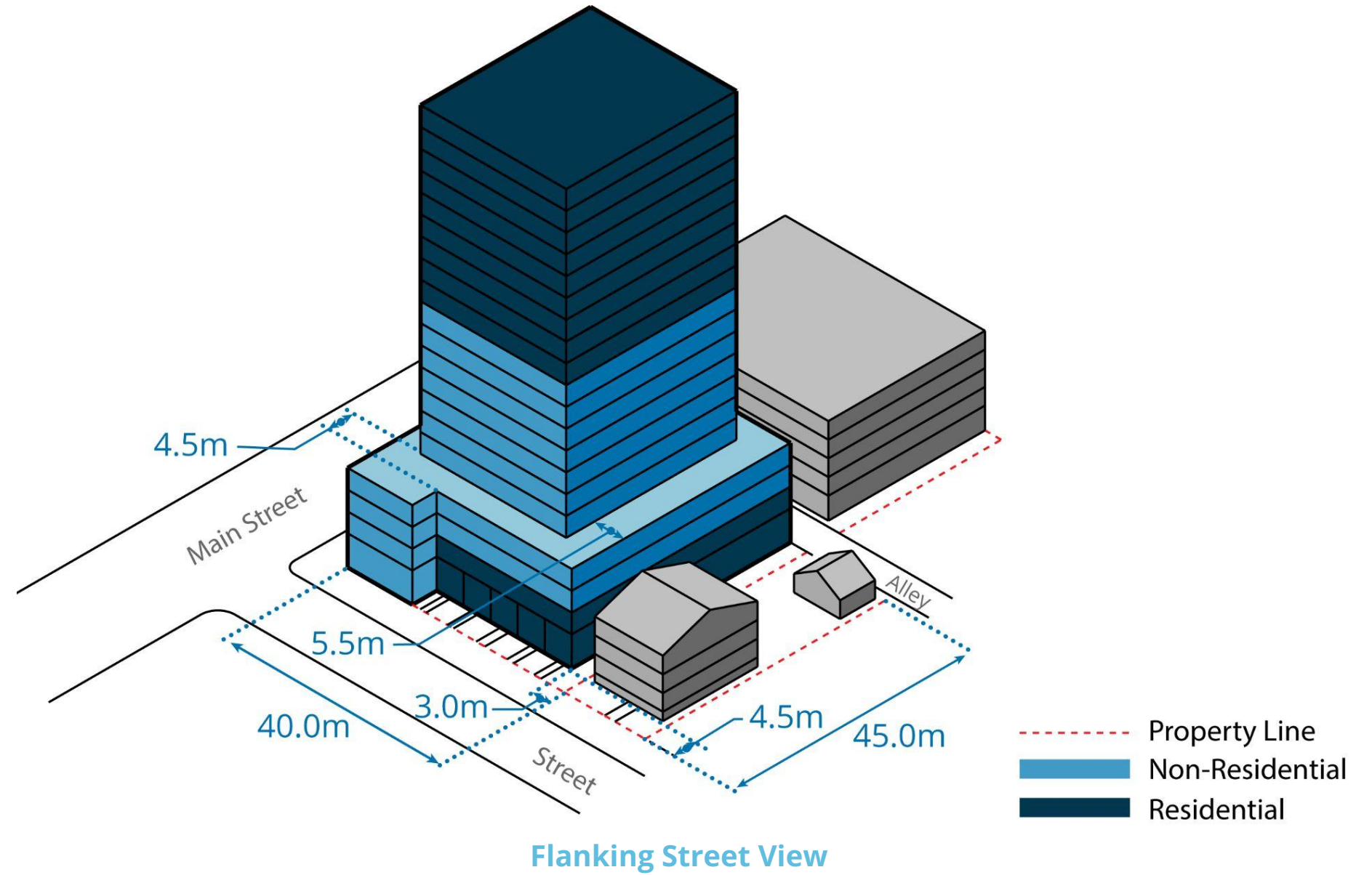
DEVELOPMENT ASSUMPTIONS

- **Site area:** 1,800 m² (no min/max)
- **Site width:** 45 m (no min/max)
- **Site depth:** 40 m (no min/max)
- **Floor area ratio:** 11.0 (max - 7.0 FAR modifier, excluding floor area for residential uses where 10% of units meet criteria for inclusive design or three-bedroom units)
 - Non-residential floor area ratio: 5.6
 - Residential floor area ratio: 5.4
- **Tower dimensions:** 31.5 m x 26.98 m (no min/max)
- **Tower floor plate:** 849.9 m² (max - 850 m²)
- **Ground floor height:** 5.5 m (min - 4.0 m)
- **Floor-to-floor height (above ground floor):** 3.5 m (no max)
- **Height of building:** 72 m (max - 75 m height modifier)
- **Ground floor non-residential setback from street:** 0 m (min - 0 m)
- **Ground floor residential setback from the street:** 4.5 m (min - 4.5 m)
- **Tower setback from main street above ground floor non-residential:** 4.5 m (min - 4.5 m + setback provided at ground floor)
- **Tower setback from flanking street above ground floor residential:** 9.0 m (min - 4.5 m + setback provided at ground floor)
- **Setback from alley:** 0 m and 4.5 m (min - 0 m; 3.0 m for portion of building taller than 16.0 m)
- **Setback from abutting site:** 3.0 m and 8.5 m (min - 3.0 m; min - 6.0 m for portion of building taller than 16.0 m where abutting a site in a residential zone with a maximum height of 12 m or less)



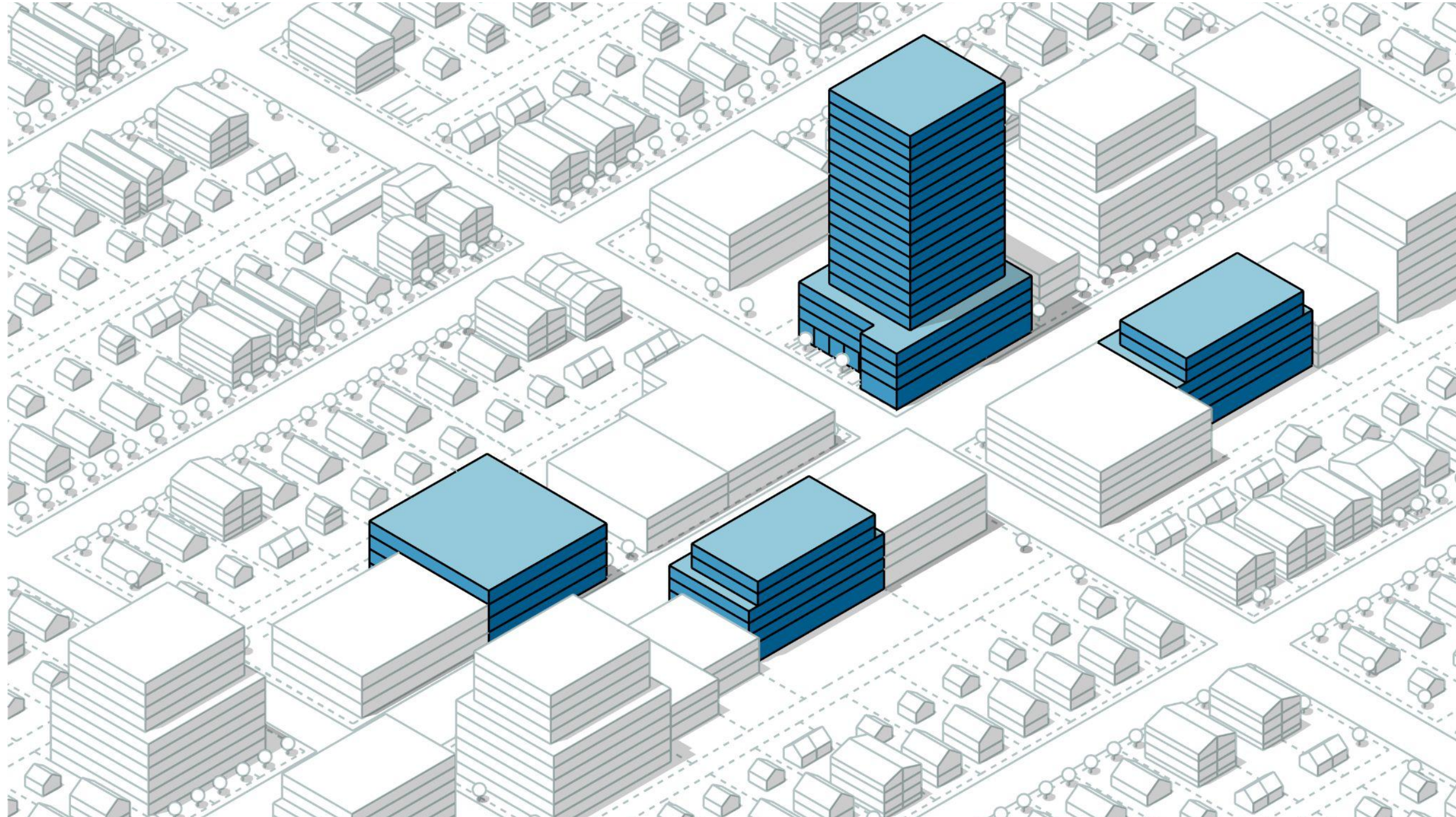
Additional Notes

- Residential ground floor units are each 5.0 m wide
- Residential shown above the 11th storey would only be achieved if at least 10% of dwellings meet the criteria for inclusive design or three-bedroom units



MU ZONE: CONTEXT DIAGRAM

The MU Zone is intended to support pedestrian-oriented mixed use development of varying intensities to accommodate growth and development in the nodes and corridors identified in The City Plan and District Plans. For example, this zone could be found around mass transit stations such as the Westmount Transit Centre, or along primary corridors such as Stony Plain Road, 124 Street and 118 Avenue. The MU Zone will occur in both developing and redeveloping areas. This diagram shows a conceptual context in a redeveloping area.



(MUN) Neighbourhood Mixed Use Zone

MUN ZONE: 4 STOREY BUILDING

SITE CONTEXT

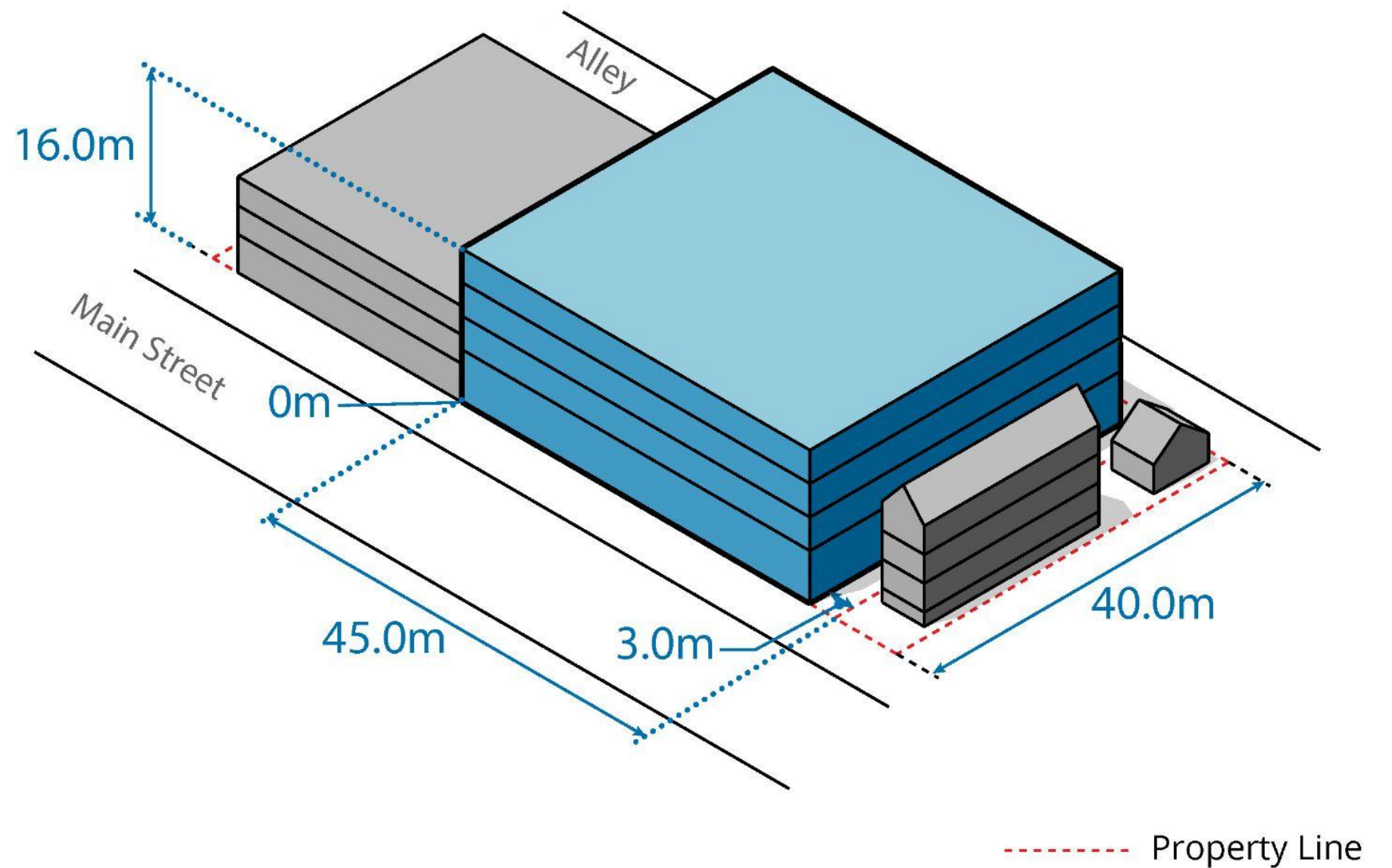
- Internal site with alley access
- No treed boulevard
- Abutting sidewalk is 4.7 m wide
- Abutting alley is 6.0 m wide
- Abutting main street commercial to the left
- Abutting a site in a residential zone to the right

DEVELOPMENT ASSUMPTIONS

- **Site area:** 1,800 m² (max - 2 ha)
- **Site width:** 45 m (no min)
- **Site depth:** 40 m (no min)
- **Floor area ratio:** 3.5 (max - 3.5)
- **Building dimensions:** 42 m x 37.5 m
- **Ground floor height:** 5.5 m (min - 4.0 m)
- **Floor-to-floor height (above ground floor):** 3.5 m (no max)
- **Height of building:** 16 m (max - 16 m)
- **Setback from street:** 0 m (min - 0 m; max - 3.0 m)
- **Setback from alley:** 2.5 m (min - 0 m)
- **Setback from abutting site (left):** 0 m (min - 0 m)
- **Setback from abutting site (right):** 3.0 m (min - 3.0 m)

Additional Notes

- The setback from the alley is larger than the minimum in order to show a commercial building built out to the maximum floor area ratio and maximum height



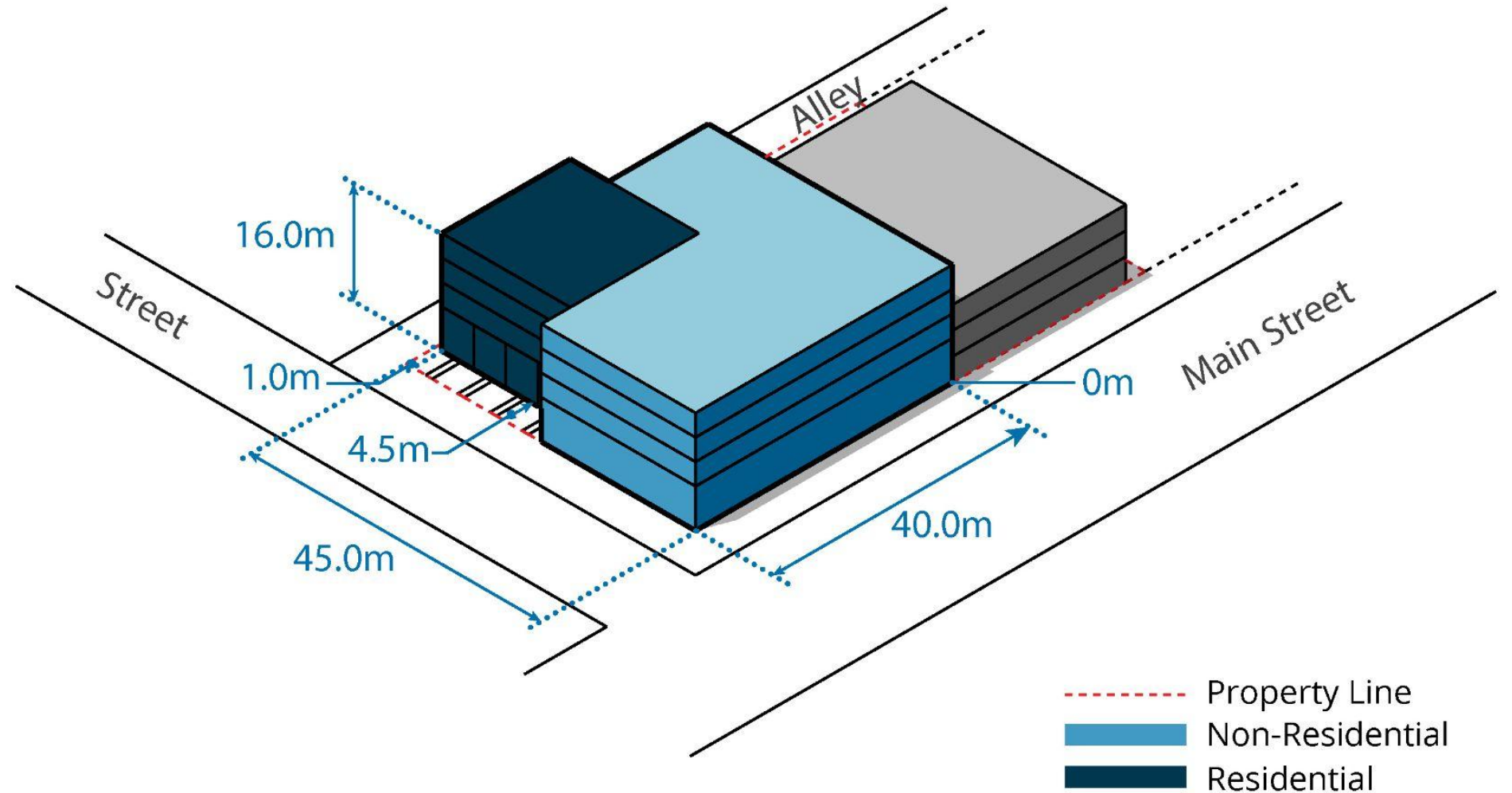
MUN ZONE: 4 STOREY BUILDING WITH GROUND FLOOR RESIDENTIAL

SITE CONTEXT

- Corner site
- Alley access
- No treed boulevard
- Abutting alley is less than 6.0 m wide
- Abutting main street commercial to the right

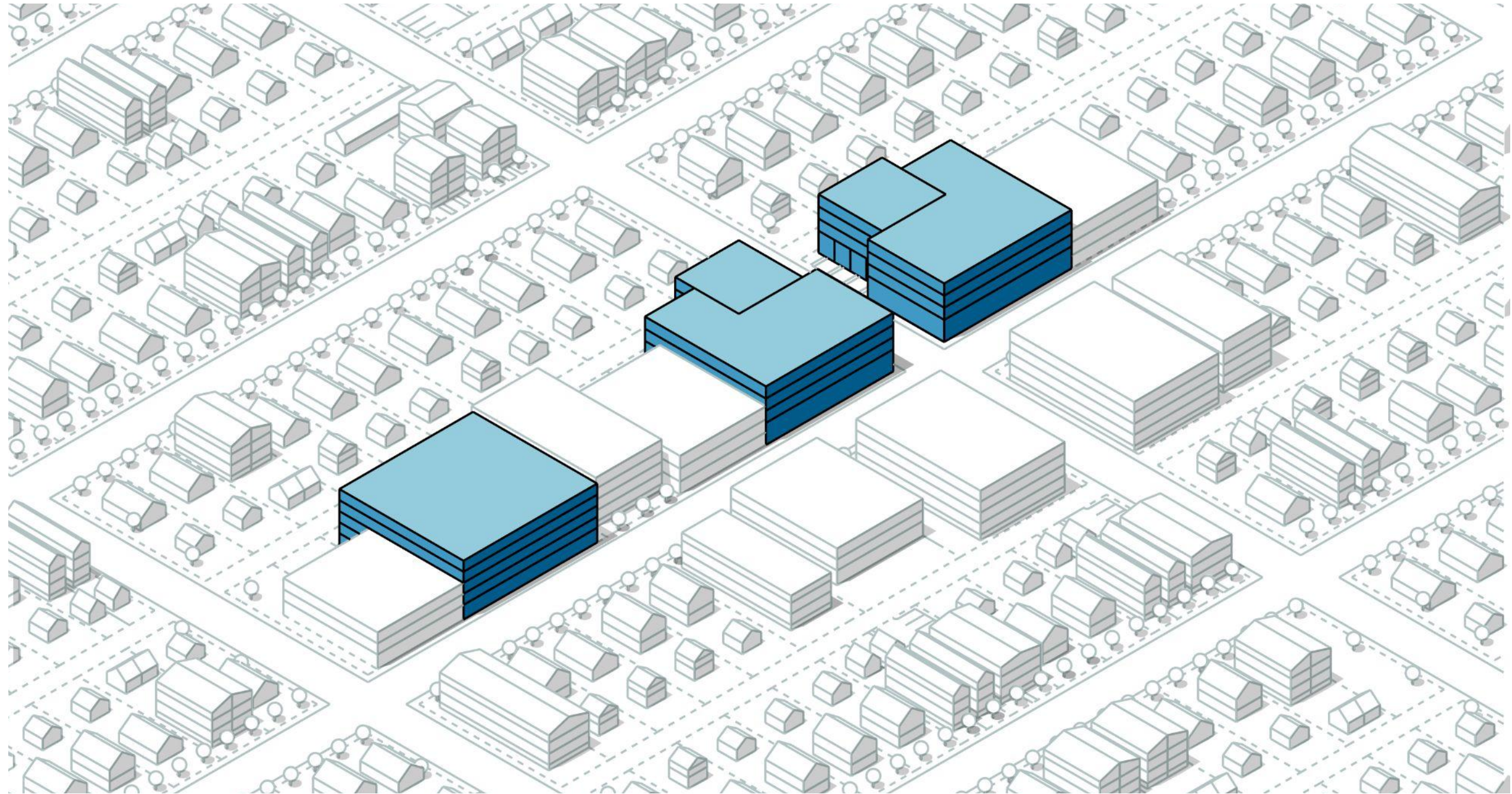
DEVELOPMENT ASSUMPTIONS

- **Site area:** 1800 m² (max 2 ha)
- **Site width:** 45 m (no min)
- **Site depth:** 40 m (no min)
- **Floor area ratio:** 3.4 (max - 3.5)
 - Non-residential floor area ratio: 2.5
 - Residential floor area ratio: 0.9
- **Building dimensions:**
 - Commercial: 40 x 36.0 m
 - Residential: 20.0 m x 20.0 m
- **Ground floor height:** 6.0 m (min - 4.0 m for non-residential)
- **Floor-to-floor height (above ground floor):** 3.3 m (no max)
- **Height of building:** 16 m (max - 16 m)
- **Ground floor non-residential setback from street:** 0 m (min - 0 m; max - 3.0 m)
- **Ground floor residential setback from street:** 4.5 m (min - 4.5 m)
- **Setback from alley:** 1 m (min - 1 m where the alley is less than 6.0 m wide)
- **Setback from abutting site:** 0 m (min - 0 m)



MUN ZONE: CONTEXT DIAGRAM

The MUN Zone is intended to support pedestrian-oriented mixed use development at the neighbourhood scale to support local nodes identified in the The City Plan and District Plans. For example, this zone could be found along the commercial main streets along 112 Avenue in Highlands, 98 Avenue in Cloverdale, or 129 Avenue in Calder. The MUN Zone will occur in both developing and redeveloping areas. This diagram shows a conceptual context in a redeveloping area.



(CN) Neighbourhood Commercial Zone

CN ZONE: SMALL SHOPPING CENTRE

SITE CONTEXT

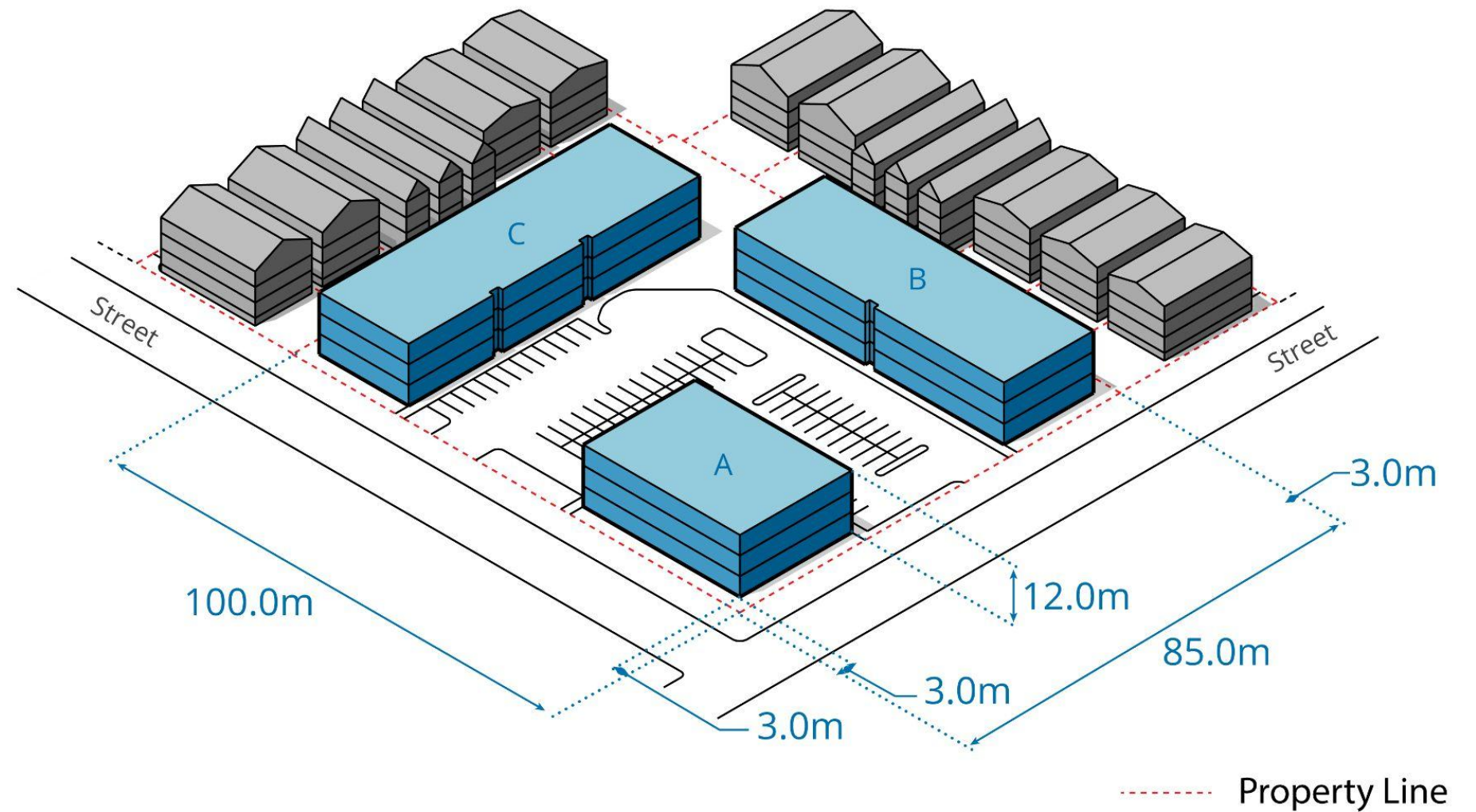
- No alley access
- Corner site
- Abutting residential to the left and right

DEVELOPMENT ASSUMPTIONS

- **Site area:** 8,500 m² (max - 2 ha)
- **Site width:** 85 m (no min)
- **Site depth:** 100 m (no min)
- **Total floor area ratio:** 1.18 (max - 2.0)
- **Building dimensions:**
 - Building A : 25.0 m x 35.0 m
 - Building B: 60.0 m x 20.0 m
 - Building C: 65.0 m x 20.0 m
- **Floor-to-floor height:** 4.0 m (no max)
- **Height of building:** 12 m (max - 12 m)
- **Setback from street:** 3.0 m (min - 3.0 m)
- **Setback from abutting sites:** 3.0 m (min - 3.0 m where abutting a site in a residential zone)

Additional Notes

- Maximum floor area ratio not achieved with parking area



CN ZONE: 3 STOREY COMMERCIAL MAIN STREET BUILDING

SITE CONTEXT

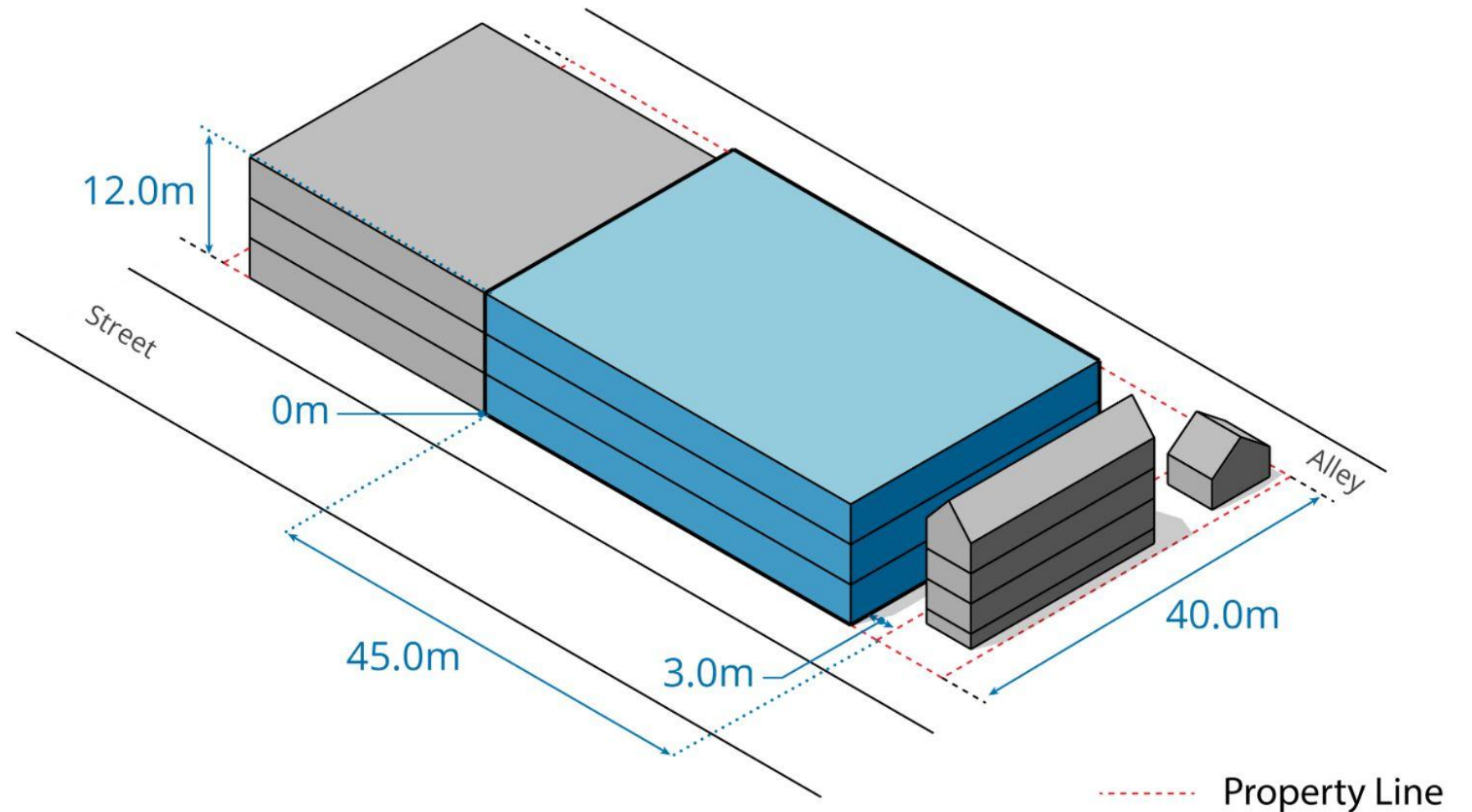
- Internal site with alley access
- No treed boulevard
- Abutting public sidewalk is 4.7 m wide
- Abutting alley is less than 6.0 m wide
- Abutting main street development to the left
- Abutting small scale residential to the right

DEVELOPMENT ASSUMPTIONS

- **Site width:** 45 m (no min)
- **Site depth:** 40 m (no min)
- **Floor area ratio:** 2.0 (max - 2.0)
- **Building dimensions:** 42 m x 28.6 m
- **Floor-to-floor height:** 4.0 m (no max)
- **Height of building:** 12 m (max - 12 m)
- **Setback from street:** 0 m
(min - 0 m for main street development)
- **Setback from alley:** 11.4 m
(min - 1 m where the alley is less than 6 m wide)
- **Setback from abutting site (left):** 0 m (min - 0 m)
- **Setback from abutting site (right):** 3.0 m
(min - 3.0 m where abutting a site in a residential zone)

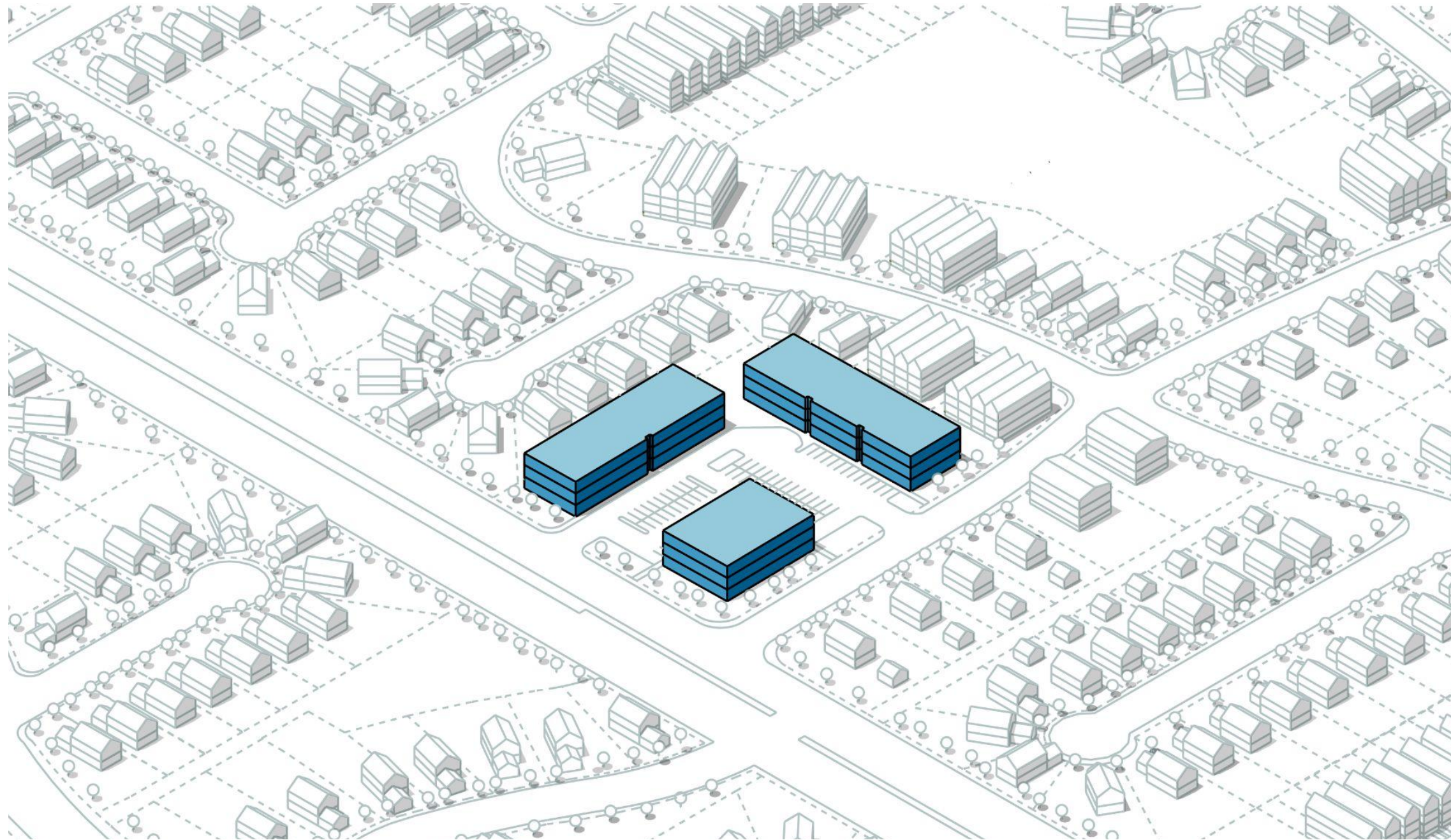
Additional Notes

- The setback from the alley is larger than the minimum in order to show a commercial building built out to the maximum floor area ratio and maximum height



CN ZONE: CONTEXT DIAGRAM

The CN Zone is intended to enable small scale car or pedestrian oriented commercial development integrated with neighbourhoods. These smaller activity centres are intended to support local nodes as identified in The City Plan and District Plans. The CN Zone will occur in both developing and redeveloping areas. This diagram shows a conceptual context in a developing area.



(CG) General Commercial Zone

CG ZONE: COMMERCIAL SHOPPING CENTRE

SITE CONTEXT

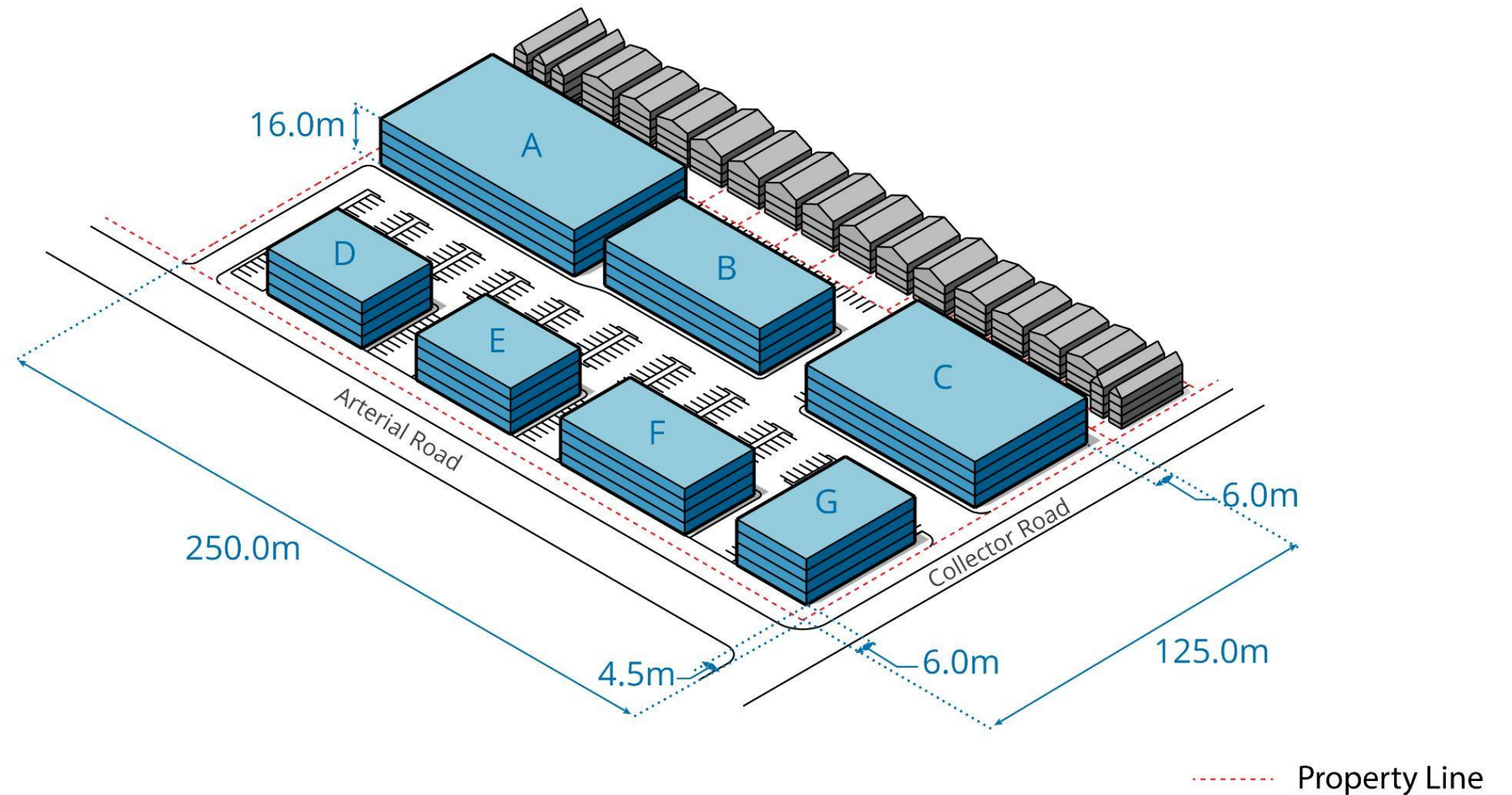
- Corner site
- No alley access
- Abutting residential development

DEVELOPMENT ASSUMPTIONS

- **Site Area:** 31,250 m² (no max)
- **Site width:** 250 m (no min)
- **Site depth:** 125 m (no min)
- **Floor area ratio:** 1.7 (max - 3.5)
- **Building dimensions:**
 - Building A: 78 m x 45 m
 - Building B: 62.5 m x 30 m
 - Building C: 68 m x 45 m
 - Building D: 38 m x 28 m
 - Building E: 38 m x 28 m
 - Building F: 50 m x 28 m
 - Building G: 48.8 m x 28 m
- **Floor-to-floor height:** 4.0 m (no max)
- **Height of building:** 16 m (max - 16 m)
- **Setback from street (arterial):** 6.0 m (min - 6.0 m)
- **Setback from street (collector):** 4.5 m (min - 4.5 m)
- **Setback from abutting site:** 6.0 m (min - 6.0 m where abutting a site in a residential zone)

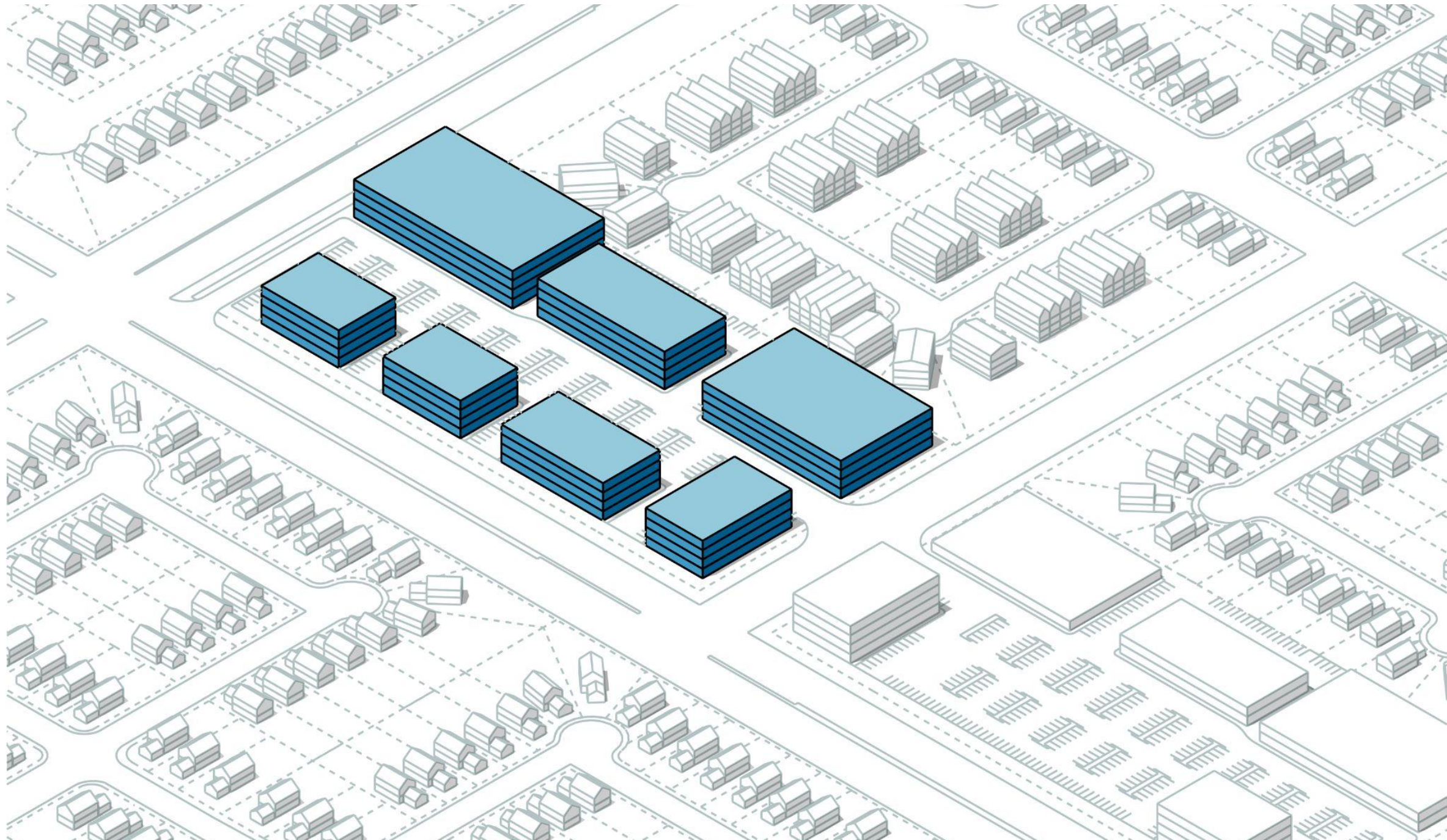
Additional Notes

- Maximum floor area ratio not achieved with parking area



CG ZONE: CONTEXT DIAGRAM

The CG Zone is intended to enable commercial development that ranges from low impact commercial and office activities to larger scale shopping centres and malls. Typically, this zone will be located outside of the nodes and corridors identified in The City Plan and District Plans. The CG Zone will occur in both developing and redeveloping areas. This diagram shows a conceptual context in a developing area.



(CB) Business Commercial Zone

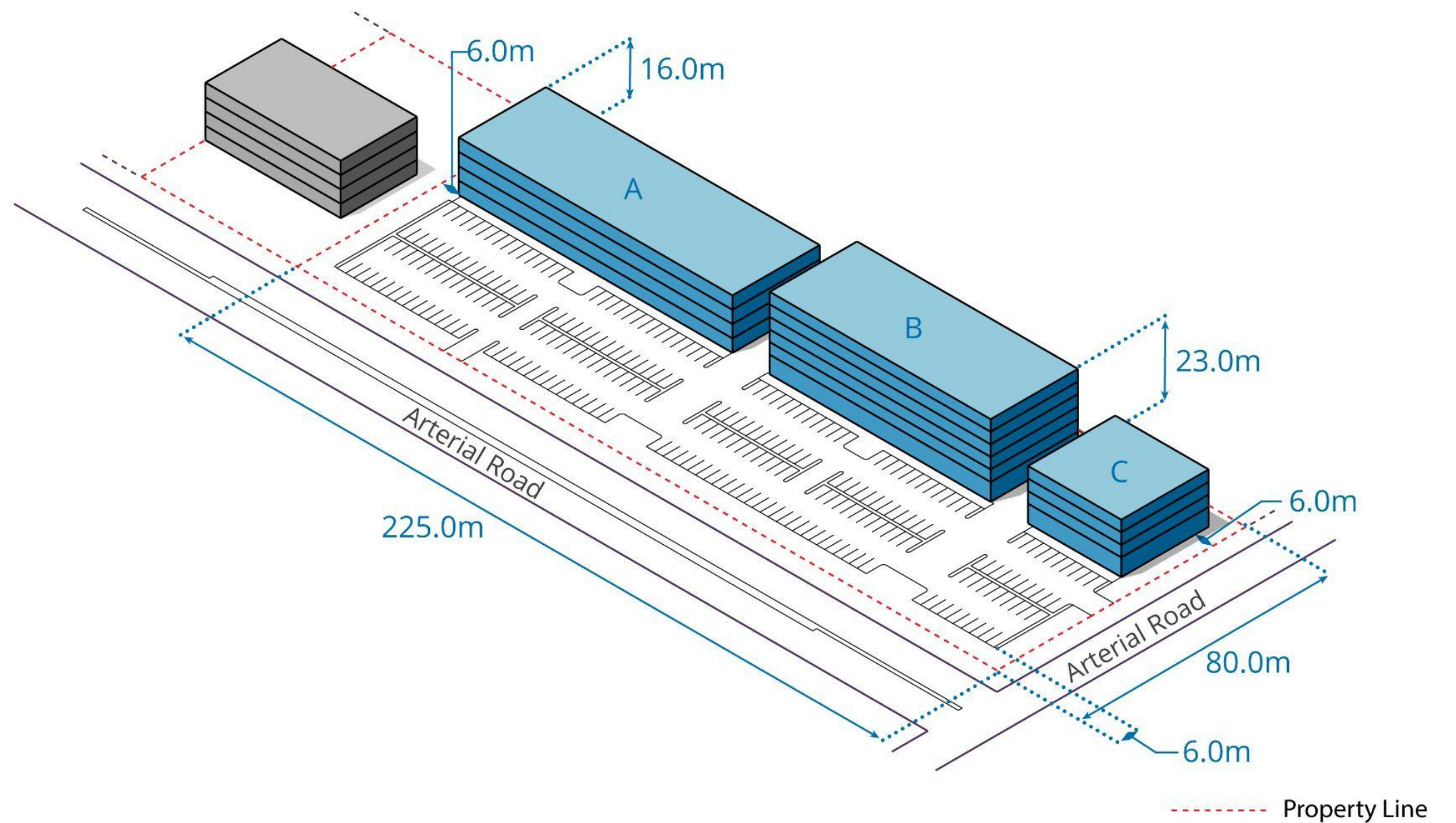
CB ZONE: 4 STOREY COMMERCIAL BUILDINGS AND 6 STOREY HOTEL WITH PARKING IN FRONT

SITE CONTEXT

- Corner site abutting arterial roads
- No alley access
- Abutting commercial to the left
- Backing onto business employment development

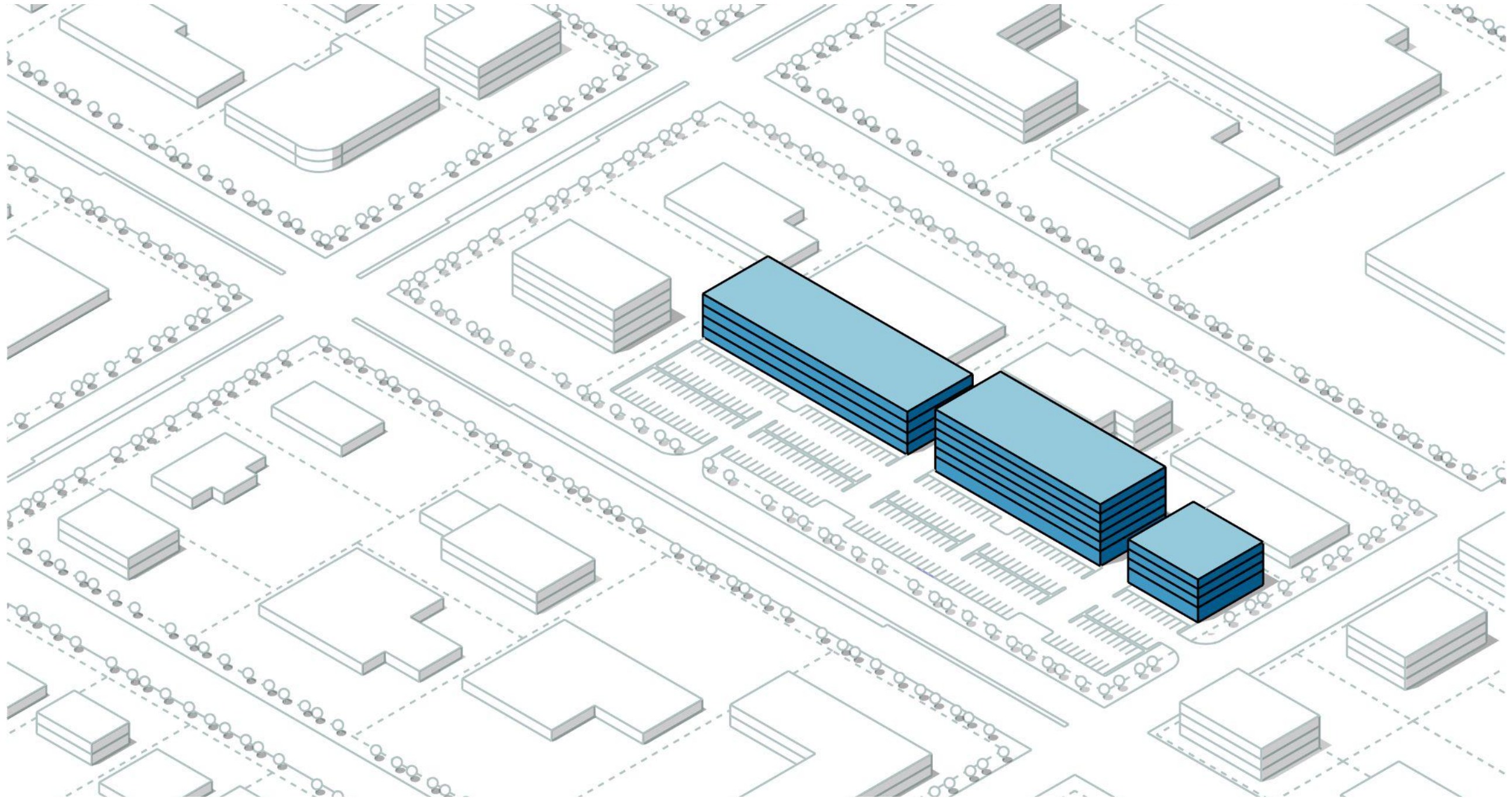
DEVELOPMENT ASSUMPTIONS

- **Site Area:** 18,000 m² (no max)
- **Site width:** 225 m (no min)
- **Site depth:** 80 m (no min)
- **Commercial floor area ratio:** 1.4 (max - 3.5)
- **Building dimensions:**
 - Building A: 88 m x 28 m
 - Building B: 71 m x 28 m
 - Building C: 30 m x 28 m
- **Floor-to-floor height:**
 - Building A: 4.0 m (no max)
 - Building B and C: 5.5 m ground floor, 3.5 m above the ground floor (no max)
- **Height of building:** (max - 16 m; max - 30 m for hotels)
 - Building A: 16 m
 - Building B: 23 m (hotel)
 - Building C: 16 m
- **Setback from streets (arterial):** 6.0 m (min - 6.0 m)
- **Setback from abutting site (left):** 6 m (min - 0 m)
- **Setback from abutting site (back):** 6.0 m (min - 0 m)



CB ZONE: CONTEXT DIAGRAM

The CB Zone is intended to allow for a variety of commercial businesses and limited light industrial activities within the non-residential areas identified in The City Plan and the Commercial/Industrial Employment Areas in the District Plans. This diagram shows a conceptual context in a commercial/industrial employment area.



(BE) Business Employment Zone

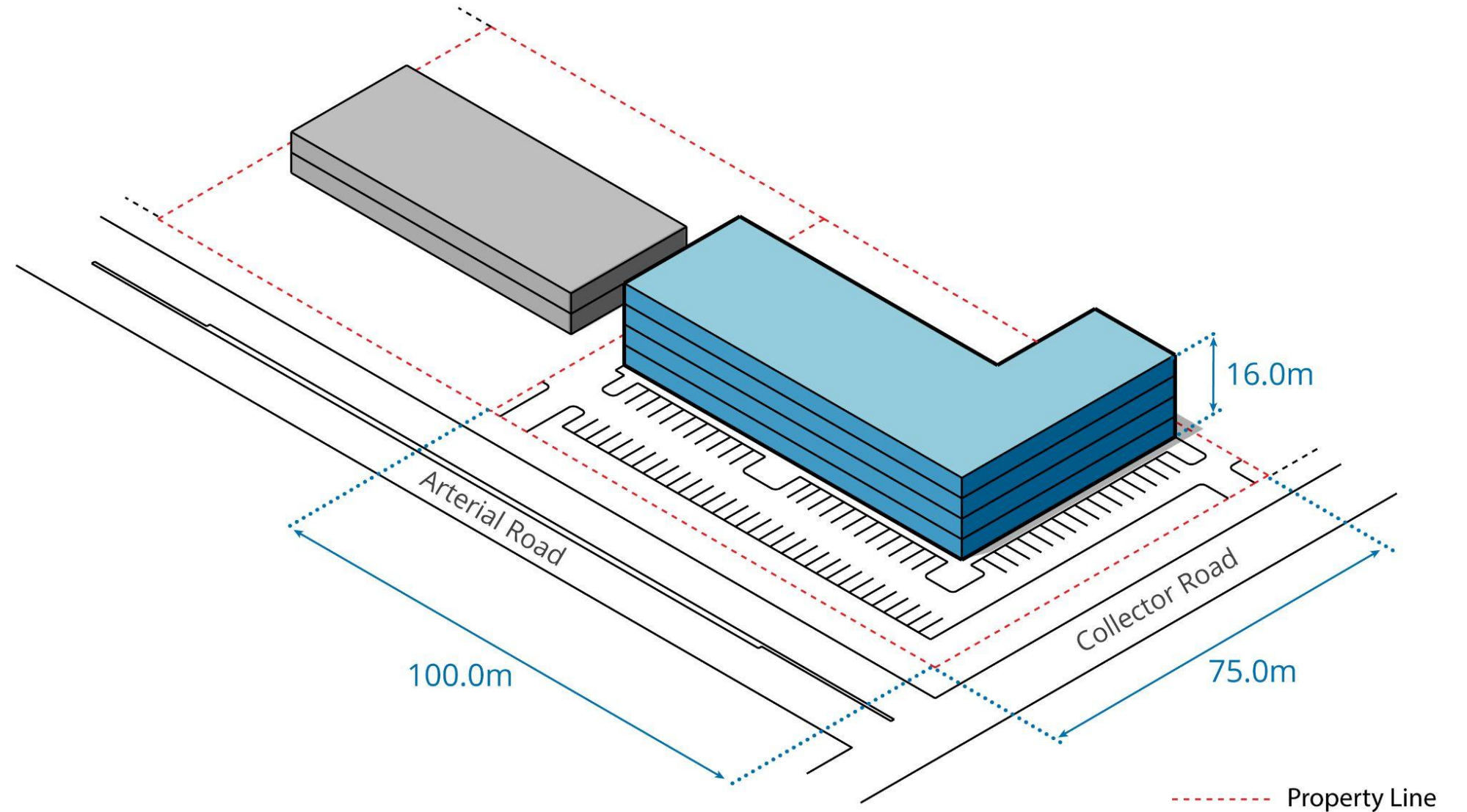
BE ZONE: 4 STOREY COMMERCIAL/LIGHT INDUSTRIAL BUILDING WITH PARKING IN FRONT

SITE CONTEXT

- Corner site abutting a collector road and an arterial road
- Abutting a business industrial development

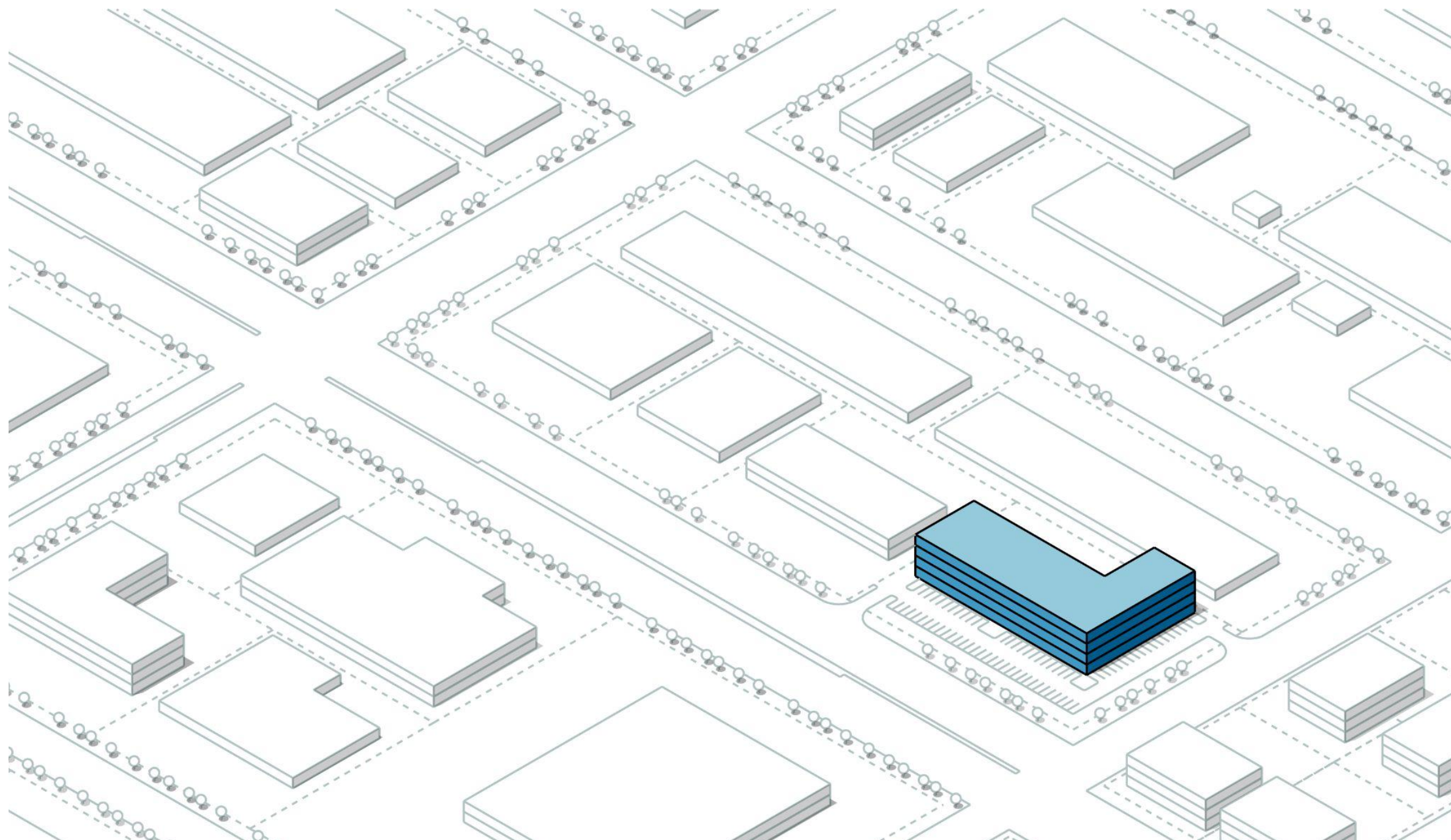
DEVELOPMENT ASSUMPTIONS

- **Site area:** 7,500 m² (no min)
- **Site width:** 100 m (no min)
- **Site depth:** 75 m (no min)
- **Floor area ratio:** 1.3 (max - 1.6)
- **Height of building:** 16.0 m (max - 16 m)
- **Floor-to-floor height:** 4.0 m (no max)
- **Setback from street (arterial):** 24.0 m (min - 6.0 m)
- **Setback from street (collector):** 18.0 m (min - 4.5 m)
- **Setback from abutting sites:** 3.0 m to the north and 6.0 m to the west (min - 0 m)



BE ZONE: CONTEXT DIAGRAM

The BE Zone enables a variety of small scale commercial and light industrial developments. It can be used as a transition between non-industrial areas and medium industrial areas. With higher visibility and potential to be located next to non-industrial areas, this zone has a higher standard of design compared to medium and heavy industrial zones. This diagram shows a conceptual context in an industrial area.



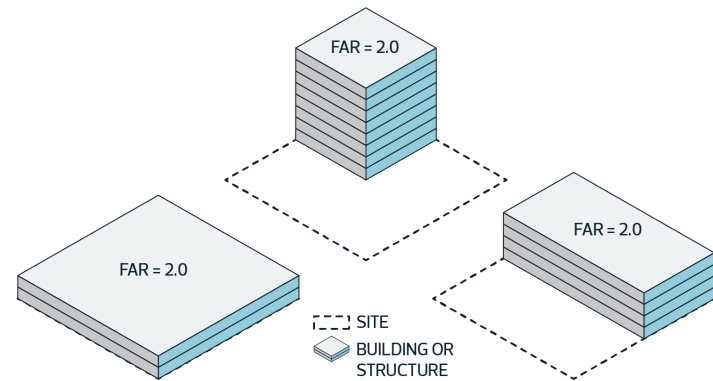
Glossary

Commercial Frontage: Development that has street-oriented, non-residential uses located at ground level.

Floor Area: The area of a building or structure, contained within the outside surface of the exterior and basement walls. Where a wall contains windows, the glazing line of windows may be used.

Floor Area Ratio: A building or structure's floor area in relation to the total area of the site the building is located on, excluding:

- basement areas used exclusively for storage or service to the building, or as a secondary suite;
- underground parking;
- floor area devoted to mechanical or electrical equipment servicing the development; and
- indoor common amenity area.



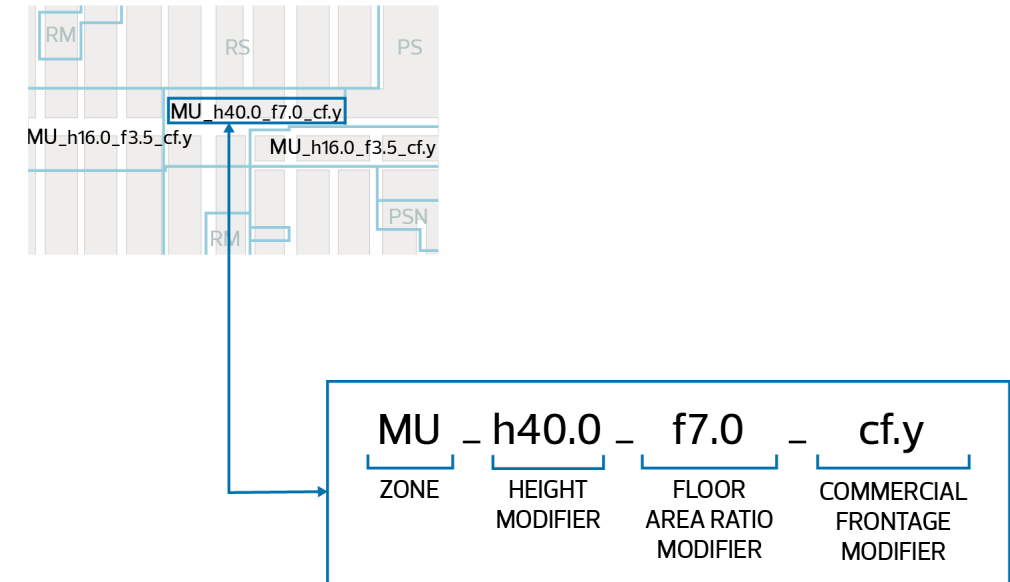
Floor Plate: The floor area of a storey.

Height: A vertical distance between two points. The height of a building is measured from grade level to the midpoint of the highest roof or, for flat roofs, to the midpoint of the highest parapet.

Main Street Development: Human scale and people-focused development that creates an active streetfront and comfortable public realm through:

- high quality building design that provides visual interest, weather protection, and articulation to minimize the perception of massing;
- building or podium placement close to the street;
- orienting buildings and main entrances towards the street;
- transparent windows along the ground floor to support pedestrian interaction and storefront displays;
- locating vehicle parking underground or to the rear or side of buildings.

Modifier: A label on the Zoning Map that indicates the application of specific development regulations. Typical examples include height modifier, floor area ratio modifier, and commercial frontage modifier.



Podium: The base of a tower, not exceeding 6 storeys in height which occupies a greater floor plate than the rest of the tower.

Setback: The distance that a development, or a specified portion of it, must be from a property line.

- **Setback from street:** The distance that a development must be from the property line abutting a street.
- **Setback from alley:** The distance that a development must be from the property line abutting an alley.
- **Setback from abutting site:** The distance that a development must be from the property line abutting another site.

Site: An area of land consisting of one or more abutting lots.

Site depth: The distance between the front lot line and the rear lot line.

Site width: The distance between the side boundaries of the site.