

Ottewell Neighbourhood Renewal

Preparing for Construction

The planning and designs are now complete and, beginning in spring 2023, Ottewell will be experiencing Neighbourhood Renewal construction.

This means you will soon be seeing construction activity in your neighbourhood, on your streets and in your parks.

For more information on construction in your neighbourhood, contact your Delivery Project Manager:

Ikenna Uju email: ikenna.uju@edmonton.ca

or scan the QR code to visit
edmonton.ca/BuildingOttewell



The final neighbourhood designs were developed based on City policies, programs and technical considerations and were influenced by feedback received throughout the public engagement process. The final designs include:

- + Upgraded streets and intersection improvements
- + Improved connections for people who walk, bike and roll
- + Enhanced parks and green spaces
- + Low Impact Development features to manage rainfall and help reduce local flooding

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SHAPE OUR CITY

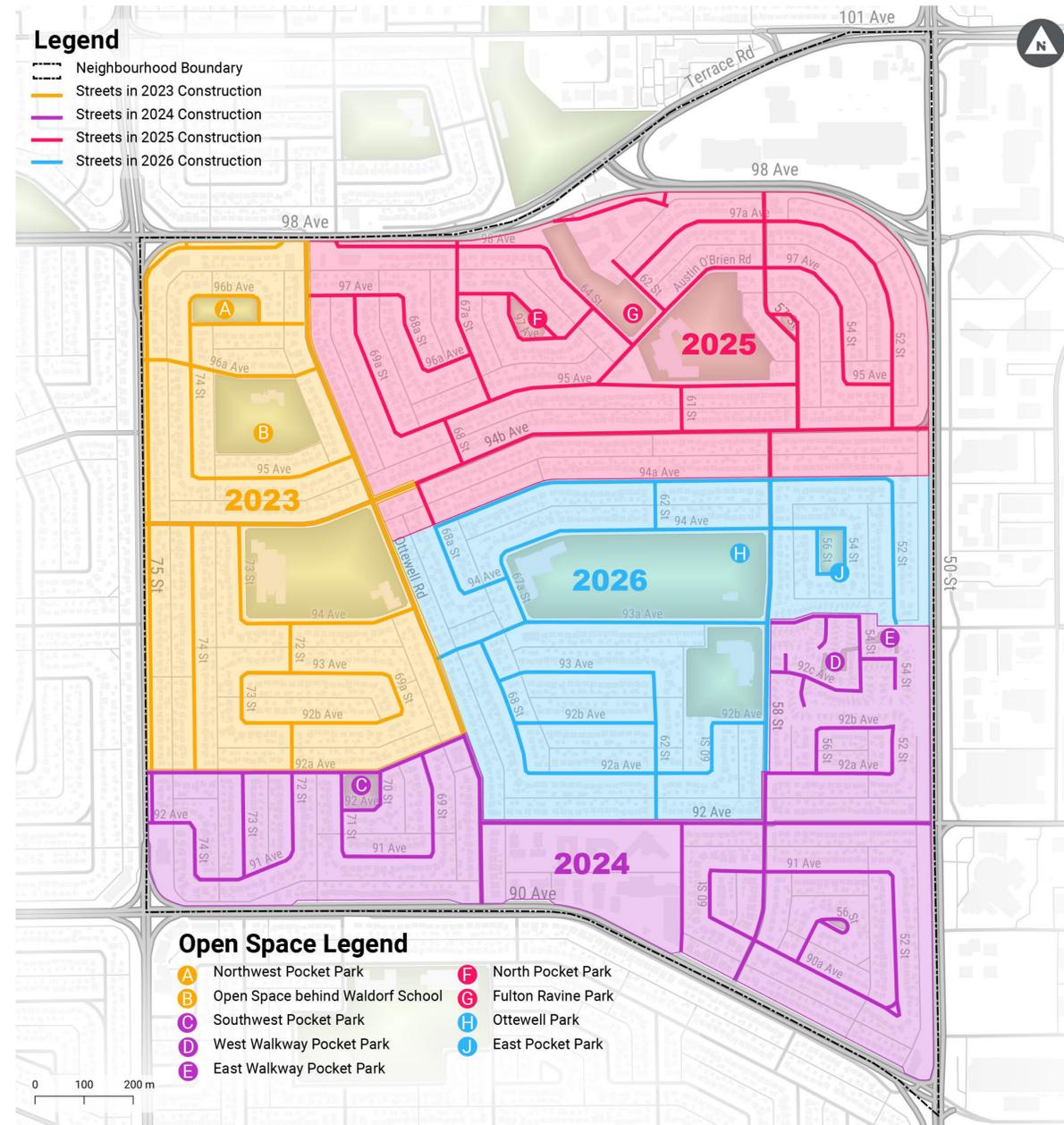
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Construction Phasing

Ottewell Neighbourhood Renewal construction is scheduled to begin in spring 2023 and is expected to take four years to complete.

Construction will be completed as follows:

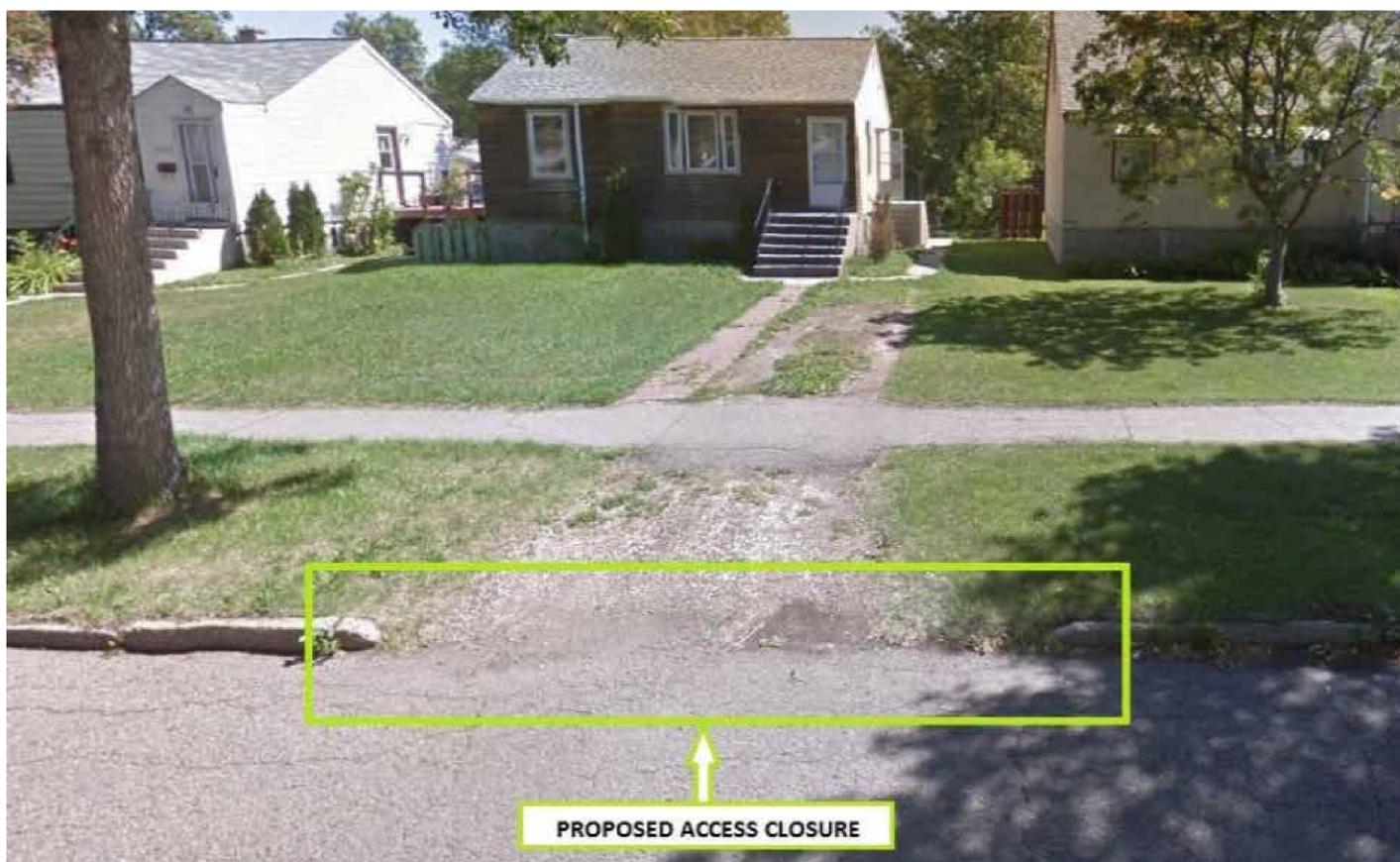


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Access closures

Front accesses that no longer lead to a garage are identified for potential access closures. Property owners with a possible access closure will be notified. Unused curb cuts will also be repaired.



Once closed and repaired, the restored boulevard allows more space for trees to grow and creates new parking opportunities along the street.

If you have an access or curb cut that is in front of your property that doesn't lead to a garage and is no longer used, please connect with the Project Manager.

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Tree safety

The City of Edmonton's Urban Foresters ensure tree health is a top priority before, during and after the construction.

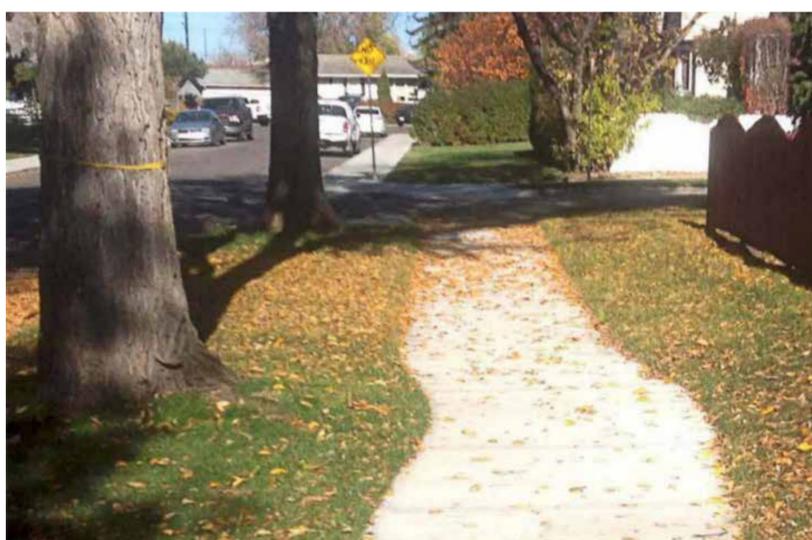
Designs and construction processes ensure trees are protected.



An area around each tree is maintained during construction to protect it and its roots.



Sidewalks are sometimes constructed around trees to protect their roots.



Extra deep cuts and rebar are added to the sidewalk to control where it may crack and to keep the sidewalk intact as the tree's roots grow.

In the rare case a tree must be removed, the City will invest the dollar value of the tree back into the neighbourhood.

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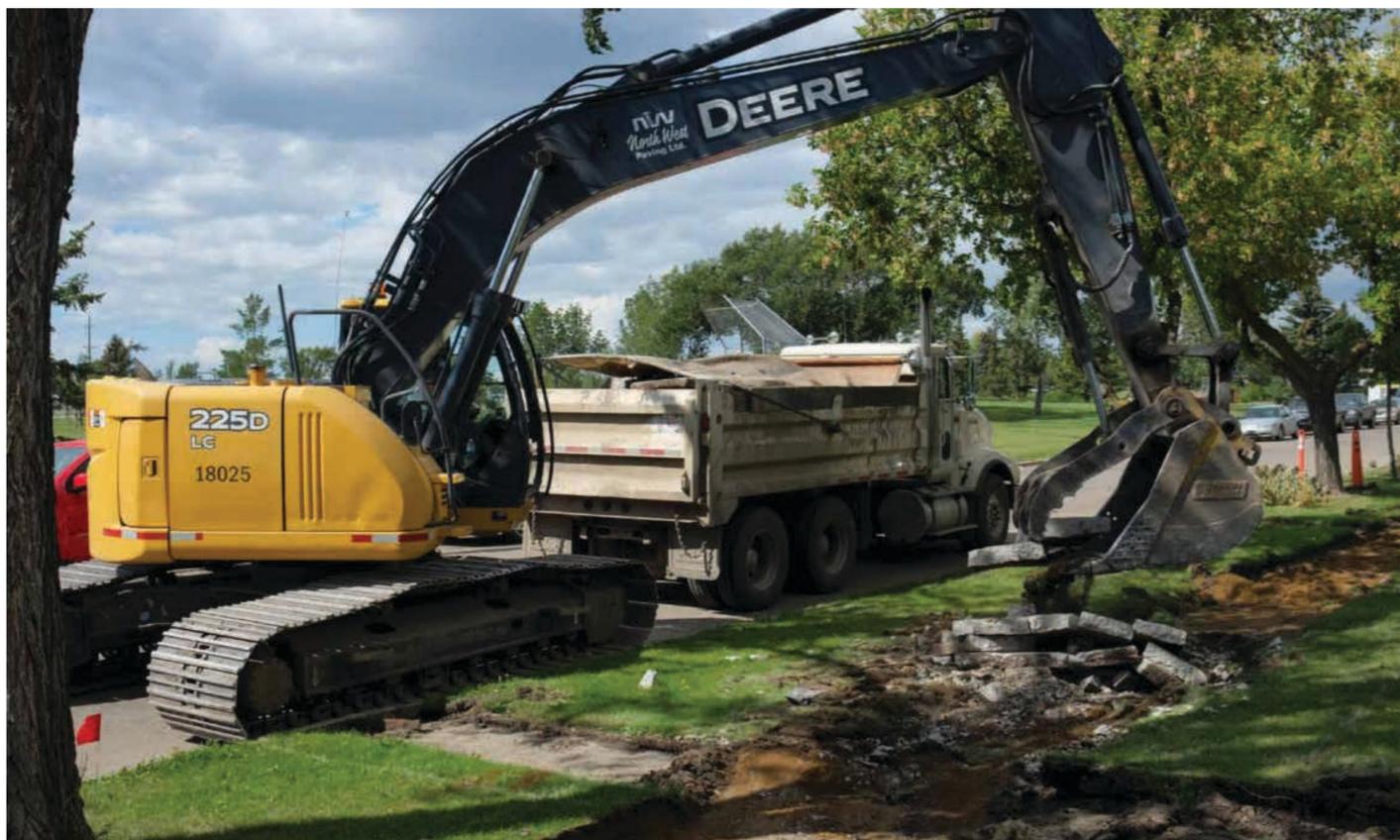
Sidewalk removal

Removing existing sidewalks is one of the first steps in your neighbourhood renewal.

One side of the road is removed at a time to maintain pedestrian access on the other side of the road.

Sections of private walkways and driveways are also removed. The extent of removal will depend on the design and drainage to the road.

There will be no parking on one, or both sides of the road depending on the existing road width.



Timing:

It takes approximately three to four weeks from the time the existing sidewalk is removed to when the concrete is poured, cured and can be walked on again.

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Sidewalk construction

After removing the existing sidewalk, gravel is placed and compacted.



Forms are set and new concrete is poured.



If a sidewalk is machine poured, a stringline is used to set grades as it pours the concrete.



If you have any mobility concerns, please let the Project Manager know and access to your property will be arranged.

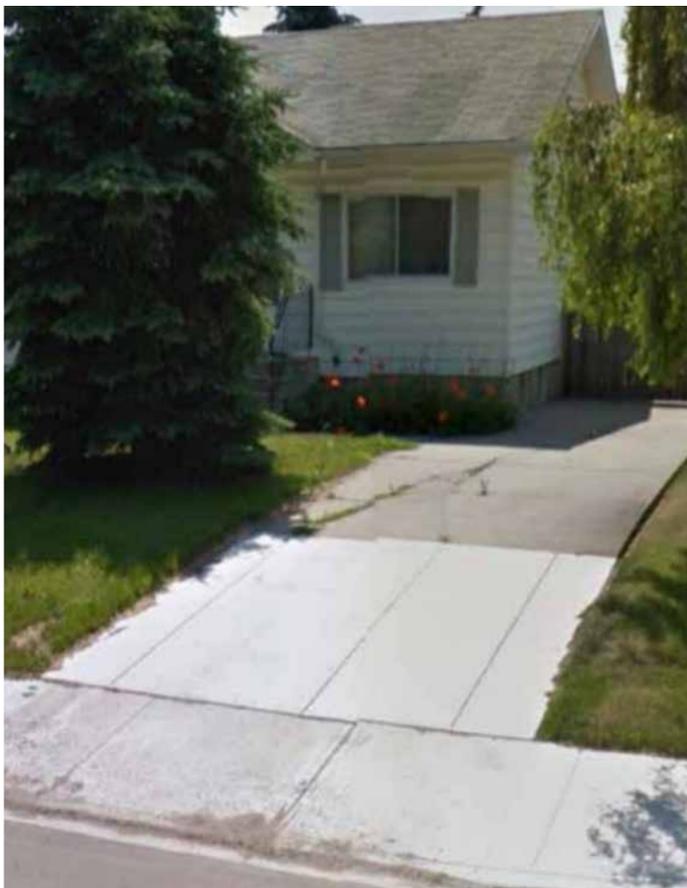


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In front of your house: Connector walkways

After the main sidewalk is poured, any private connector walkways or driveways that were removed will be constructed with the same type of materials originally in place.

If the connector walkway grade is too steep and doesn't comply with City specifications, property owner is presented the option of having a step installed. The Project Manager will contact the property owner to discuss options.



In front of your house: Landscaping

City right-of-way extends approximately 5.10m from the roadway toward residential property lines and may include portions of your landscaping. This right-of-way may be impacted as part of the sidewalk construction process.

To prepare for this possibility, if you have:

- + **Specialty plants or flowers:** we encourage you to remove them before construction.
- + **Mulch or rocks:** we encourage you to contact the Project Manager to coordinate temporary removal options.
- + **Underground sprinkler systems:** please clearly mark these out, so they do not get damaged during construction.



Sod is typically the last item to be installed along boulevards and right-of-way locations.

Once in place, we encourage you to water it regularly to promote healthy growth.

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Road reclamation and paving

An efficient, cost-effective and environmentally friendly process called full depth reclamation is used in grading the road base.

It pulverizes the existing gravel and asphalt structure and mixes it with cement and oil to make the new base for the road.

Grading the base takes about three to five days with intermittent road closures.



The graded road base needs two to three days for it to cure prior to paving and can be driven on. The road will be fully closed during paving operations and typically opens later on the same day.

Paving is the quickest step. Contractors can usually pave three to five blocks per day.



Road reconstruction

When reclamation cannot occur, a full road reconstruction will be required. This process will take longer than a reclamation. The Project Manager will keep you informed if this needs to happen on your street.

Quality assurance

- + Materials such as gravel, asphalt and concrete are tested throughout construction to ensure it is compliant with City specifications.
- + A Construction Completion Certificate (CCC) is issued at the end of each construction season.
- + Deficiencies that are identified are repaired the following season.
- + A two-year contractor warranty period starts after issuing CCC. This includes materials and workmanship only.
- + Deficiencies that are identified at the end of the warranty period are repaired.
- + A final Acceptance Certificate (FAC) issued.

